

ORDINANCE O2018-8

ORDINANCE OF THE CITY COUNCIL OF THE CITY OF  
MANTECA, STATE OF CALIFORNIA, AMENDING THE  
MASTER PLAN FOR THE MANTECA FAMILY  
ENTERTAINMENT ZONE, AN APPENDIX TO TITLE 17 OF  
THE MANTECA MUNICIPAL CODE

WHEREAS, the City of Manteca currently owns approximately 29 acres within the Family Entertainment Zone ("FEZ"), which the City Council desires to convey to a developer for the purpose of developing a destination resort that will include a hotel with up to 500 rooms, an indoor water park, restaurants, meeting facilities, and a family entertainment center (the "Lodge Project"); and

WHEREAS, the City Council enacted the FEZ Master Plan on March 1, 2016;  
and

WHEREAS, the City Council previously amended the FEZ Master Plan on April 5, 2016, to include a relocated French Camp Outlet Canal but declined to include a new storm drain line and pump west and south of the FEZ as had been proposed in Addendum #2; and

WHEREAS, the current amendments to the FEZ Master Plan will provide development parameters for the Lodge Project; and

WHEREAS, the Planning Commission of the City of Manteca adopted Resolution No. 1489 on February 27, 2018, following a public hearing, that recommended the City Council adopt the amendments to the FEZ Master Plan described in Section 2 of this Ordinance; and

WHEREAS, the City Council held duly noticed public hearings on the amendments to the FEZ Master Plan described in Section 2 of this Ordinance on March 20, 2018, and April 3, 2018; and

WHEREAS, the City Council has considered all information related to this matter, as presented at the public meeting of the City Council identified herein, including any supporting reports by City Staff, and any information provided during public meetings.

THE CITY COUNCIL OF THE CITY OF MANTECA DOES ORDAIN AS  
FOLLOWS:

**SECTION 1: Findings.** Based upon all the evidence in the record, including the analyses and conclusions presented in supporting reports by City Staff, the City Council hereby adopts the following findings with regard to the amendments to the Family Entertainment Zone Master Plan described in Section 3:

1. The amendment is consistent with the General Plan and any specific plan goals, policies, and implementation programs.

The City Council has already determined that the FEZ Master Plan is consistent with the General Plan. The details addressed by the proposed amendments do not implicate any General Plan consistency issues, but address processing issues and design details. Accordingly, the amendments continue to implement the General Plan and are consistent with the General Plan.

2. The amendment would not be detrimental to the public interest, health, safety, convenience, or welfare of the City.

The amendments will promote development of Planning Area 16 in the FEZ, which will help achieve the benefits and overriding considerations the City Council identified when it previously adopted and amended the FEZ Master Plan. The amendments establish procedures and standards appropriate for the unique attributes and context of Planning Area 16 of the FEZ.

3. The amendment has been reviewed in compliance with the provisions of the California Environmental Quality Act (CEQA).

Based upon all the evidence in the record, the City Council determines that there will not be any new or more severe significant impacts beyond those identified in the Environmental Impact Report for the Manteca Family Entertainment Zone project (State Clearinghouse # 2014022008), as supplemented by Addenda 1, 2, and 3, and no significant new information has arisen since reliance upon Addendum #3 on March 20, 2018. No supplemental or subsequent EIR is required, and all mitigation measures, impact findings, environmental conclusions and overriding considerations remain applicable to the Manteca Family Entertainment Zone project.

4. The amendment is internally consistent with other applicable provisions of the Manteca Zoning Code.

The administration and permit processes described in new Section 7 of the FEZ Master Plan are adopted as part of the Zoning Ordinance and therefore are consistent with it. The amendments establish procedures and standards appropriate for the unique attributes and context of Planning Area 16 of the FEZ. These procedures recognize that Planning Area 16 has already undergone detailed review, which review would otherwise be addressed by the procedures that apply outside of Planning Area 16. Accordingly, the processes set forth in the new Section 7 achieve the same goals, and are therefore consistent with, the procedures that apply outside of Planning Area 16.

**SECTION 2: Zoning Ordinance Amendment.** The FEZ Master Plan, which is an appendix to Title 17 (Zoning) of the Manteca Municipal Code, is hereby amended as set forth in Exhibit A, which is attached hereto and incorporated herein by reference.

Exhibit A – Zoning Ordinance Amendments

The following amendments are made to the Family Entertainment Zone (FEZ) Master Plan, which was initially adopted on March 1, 2016, and amended on April 5, 2016. Staff is directed to incorporate these amendments into the printed and posted versions of the Master Plan. Staff is authorized to make clerical edits that do not affect the substance of these amendments, such as adjusting the section numbers and figure numbers in this Section 7, and relocating figures, to better conform to the format of the Master Plan and make the document more readable.

**AMENDMENT #1: COVER:**

The cover of the FEZ Master Plan is amended to delete "Amendment 1 February 2016" and to insert the following in its place:

Adopted March 1, 2016.  
Amended April 5, 2016.  
Amended April 3, 2018.

**AMENDMENT #2: TABLE OF CONTENTS:**

The table of contents of the Master Plan is amended to reflect these amendments, including a table of contents for Section 7.

**AMENDMENT #3: CROSS-REFERENCES**

Section 2.5 is amended as follows. The heading "2.5 Architectural Design Requirements and Recommendations for PA-16 " is retained. However, all text of Section 2.5 (including all sub-sections) is deleted and replaced with the following text: "For architectural design requirements for PA-16, see Section 7 of this Master Plan."

Section 2.7.2 is amended as follows. The heading "2.7.2 Sign Requirements for PA-16" is retained. However, all text of Section 2.7.2 is deleted and replaced with the following text: "For sign requirements for PA-16, see Section 7 of this Master Plan."

**AMENDMENT #4: NEW SECTION 7:**

A new Section 7 is added to the Master Plan, entitled "PA-16 Site Planning Standards." The text of Section 7 reads as follows:

## I. INTRODUCTION

This Section 7 contains the PA-16 Site Planning Standards ("Lodge Standards"), which set forth requirements for developing a destination resort and conference facility (the "Lodge Project") on a site of approximately 30 acres. The site ("Project Site") comprises Planning Area 16 of the Manteca Family Entertainment Zone ("FEZ") district. These Lodge Standards implement the Public/Quasi-Public land use designation and all applicable provisions of the Manteca General Plan. These Lodge Standards implement, supplement and modify requirements of the FEZ Master Plan and the Municipal Code. In the event of any conflict between these Lodge Standards and either other parts of the FEZ Master Plan, or the Municipal Code, these Lodge Standards control.

## II. APPLICATION OF LODGE STANDARDS TO THE LODGE PROJECT

The Lodge Standards set forth detailed provisions regarding massing, height, the number of guest rooms, architecture, site layout, signs, landscaping, lighting, parking and design. They are intended to streamline processing by substituting one comprehensive set of requirements for various approvals and entitlements that might otherwise be required. They accordingly supersede and apply to the Project in lieu of any inconsistent provisions of the Municipal Code or other sections of the FEZ Master Plan. As used in these Lodge Standards, "may" means that the referenced elements may be included in the Lodge Project, but are not required. References in these Lodge Standards to elements that may be included supersede any references contained in other provisions of the FEZ Master Plan or the Municipal Code that would otherwise require such elements.

Compliance with the Lodge Standards is required for issuance of permits necessary to develop the Lodge Project. Grading permits, building permits and certificates of occupancy shall be approved for the Lodge Project upon proof of compliance with (a) all Lodge Standards relevant to the work or occupancy authorized by that permit, and (b) all provisions of Title 15 (Buildings and Construction) of the Municipal Code relevant to that permit. The issuance of a permit shall constitute a finding that the work or occupancy authorized by that permit is consistent with the Lodge Standards, which finding shall not be reconsidered in subsequent permit decisions.

No approvals from City other than grading permit, building permit and certificate of occupancy shall be required for the Lodge Project. The approvals and determinations that are not required for the Lodge Project include, but are not limited to: Zoning Conformance Approval, Major and Minor Site Plan and Design Review, Preliminary and Final Landscape and Irrigation Plan, Landscape Certificate of Completion, Site Plan and Design Review approval for lighting, Sign Permit, Master Sign Program, Approval of Outdoor Seating and additional Project Allocation (as referenced in Municipal Code section 18.04.050). Building permits for parking lots (as referenced in Municipal Code section 17.52.030) and building permits for signs (as referenced in Municipal Code section 17.54.030) shall be issued upon a determination of compliance with the Lodge Standards and relevant provisions of Title 15 (Buildings and Construction) of the Municipal Code. Mitigation measures that require that certain actions be taken before issuance of an approval that is not required for the Lodge Project shall be interpreted and applied to require a demonstration of compliance at the time of grading and/or building permit.

If a grading or building permit, or certificate of occupancy, is denied based upon a failure to demonstrate compliance with the Lodge Standards, or if conditions to which the sponsor and/or landowner of the Lodge Project ("Developer") objects are imposed upon such a permit relating to compliance with the Lodge Standards, Developer may appeal the determination to the

Community Development Director by submitting a written request to the Community Development Director. No hearing is required. The Community Development Director shall issue a written decision on such appeal within 5 business days of receiving the written request. The decision of the Community Development Director may be appealed by Developer to the Planning Commission, and the decision of the Planning Commission may be appealed to the Council, in compliance with the procedures set forth in Municipal Code section 17.08.070.

The FEZ Master Plan operates as an overlay to the Manteca Zoning Ordinance. As explained in Section 2.1, any regulations not contained or illustrated in the FEZ Master Plan are deferred to the regulations contained in the City's Zoning Ordinance. Therefore, to ascertain requirements and recommendations for PA-16, the reader should first review these Lodge Standards, then review the rest of the FEZ Master Plan for any issues not addressed by these Lodge Standards, then review the Zoning Ordinance for any remaining unaddressed issues.

If the Lodge Project obtains vested rights via approval of a Development Agreement or otherwise, then all references in these Lodge Standards to the Municipal Code refer to the code as it was in effect on the vesting date.

### **III. PROJECT SITE**

These Lodge Standards pertain to development of Planning Area 16 within the FEZ Master Plan. The site is located in the southern portion of the FEZ, near Highway 120, west of Stadium Center and southwest of Big League Dreams ballpark. The Developer shall not be responsible for construction of any public or private improvements outside of the Project Site.

### **IV. ALLOWED USES**

The Project Site will be developed into a hotel ("Hotel"), and an indoor water park ("Water Park"). The Hotel may include a conference/convention/exhibition center, but such a center is not required.

The Hotel shall provide overnight lodging for guests. Facilities for conferences, exhibitions and/or conventions may be included, but are not required. The conference/exhibition/convention facilities are not required to serve businesses or any other particular uses, but may do so. The Hotel may also include various retail and recreational uses, including restaurants, coffee shops, catering service facilities; exhibition facilities, arcades, sale of goods, and other uses typically associated with a family resort, hotel, and conference center, but these uses also are not required. Other permitted and conditionally permitted uses are listed in Table 2.0-2 of this FEZ Master Plan.

### **V. GENERAL DEVELOPMENT STANDARDS AND PHASING**

The development requirements of Table 2.1.1 of the FEZ Master Plan are implemented, supplemented and replaced with the following:

EXHIBIT "A"

Requirement Stated in Table 2.1.1	Application to Lodge Project on PA-16
<p>Floor Area Ratio (FAR) maximum: 45%. If a parking structure is provided for PA-16 the allowable FAR may be increased up to an additional 10% with conditional approval upon site plan review. Parking structure is not to be calculated as part of the FAR.</p>	<p>The gross floor area of the Hotel and Water Park combined shall not exceed 588,000 square feet of gross floor area, which approximates an FAR of 45%. The Hotel shall include no more than 500 overnight guest rooms and/or suites.</p> <p>“Gross floor area” means the sum of the horizontal areas of several stories of a building, measured from the exterior faces of exterior walls or, in the case of a common wall separating two buildings, from the centerline of such common wall. Gross floor area shall exclude basements and attics. The surface area of tennis courts, swimming pools, driveways, parking spaces, decks, and porches is not included in the total floor area.</p>
<p>There shall be no minimum lot area requirements.</p>	<p>There are no minimum lot area requirements.</p>
<p>Street setback: Any building or structure shall have a minimum street setback of twenty-five (25) feet.</p>	<p>Any building or structure shall have a minimum setback of twenty-five (25) feet from the edge of the public right of way of Daniels Street.</p> <p>“Building” means any enclosed structure having a roof and supported by columns or walls. “Structure” means anything constructed or erected, the use of which requires location on the ground or attachment to something having location on the ground, including a building.</p> <p>In PA-16, “Structure” excludes surface level parking facilities and excludes any landscaping amenities.</p>
<p>Interior / Side Yard Setback (non-street): There shall be no interior side yard requirements.</p> <p>Rear Yard Setback: There shall be no rear yard requirements.</p>	<p>There are no setback requirements for any portion of the Lodge Project other than the setback from Daniels Street. In particular, there are no requirements for setbacks from utility easements.</p>

Requirement Stated in Table 2.1.1	Application to Lodge Project on PA-16
Distance Between Buildings (for buildings on same parcel): Shall comply with required building code, otherwise there shall be no distance between building requirement.	The Lodge Project shall comply with any applicable requirements of the Manteca Building Code relevant to required distances between buildings. There are no other requirements applicable to required distances between buildings.
Building Height: The maximum height of any occupied structure shall be eighty-five (85') feet. The vertical distance from grade plane to the average height of the highest roof surface shall not exceed 85'. There shall be no height requirements for non-occupied structures or for design and architectural elements provided they meet Fire Code requirements and CBC Table 503.	<p>The Hotel shall be no taller than 85 feet. The vertical distance from grade plane to the average height of the highest roof surface of the Hotel shall not exceed 85 feet.</p> <p>The Water Park, including its tower, shall not exceed a height of 85 feet.</p> <p>The Lodge Project shall meet Fire Code requirements and CBC Table 503.</p> <p>Height is to be measured in accordance with the definition of height and exceptions stated in Municipal Code Chapter 17.42.</p> <p>There are no other height requirements applicable to the Lodge Project.</p>

Development of PA-16, and infrastructure to serve PA-16, shall be phased as required by any agreements with the City of Manteca. Additional phasing of development within PA-16 may be incorporated into the construction schedule as determined by Developer.

**VI. SITE PLAN AND CIRCULATION**

The site shall be configured substantially as shown in Figure 1 and Figure 2. These figures present a conceptual design of the proposed Hotel, Water Park, parking and landscaping. The Lodge Project must comply substantially with this conceptual design, and shall generally be oriented as shown in this design.

There are no restrictions on the configuration or size of uses within the Hotel. An illustrative example of the type of interior layout that may be developed is depicted in Figure 2. This example is not intended to regulate the Lodge Project interior layout or design.

Site Planning shall be designed to allow for the safe and convenient movement of vehicles, pedestrians, and bicycles with pedestrian taking the priority, generally as shown in Figure 1 and Figure 2. The site shall include access for bicyclists to the required bicycle parking that is intended to be safe, but no other bicycle routes are required within PA-16. The site plan that is conceptually depicted in these figures is deemed to comply with the City's Bicycle Master Plan. Pedestrian connections shall provide a network of on-site walkways, generally as depicted in these figures (without the primary pedestrian path shown in Figure 3.7.1), and the walkways

shall be a minimum of five feet wide, to and from building entrances. Pedestrian connections should be provided to each building entrance. Additional development requirements and recommendations regarding pedestrian circulation are covered in Section 3 of the FEZ Master Plan. The requirements in Section 3 apply to the extent they are not inconsistent with this Section 7.

Access (regular access and emergency vehicle access) shall be provided via Daniels Street. The private access roadway/driveway labeled "E" in FEZ Master Plan Figure 3.0.1 (Vehicular Circulation) is not required, but may be constructed and may provide additional access to the site.

The surface beneath the porte cochere shall be differentiated from other surfaces. Stamped concrete may be used for this purpose, but is not required. Driveways and pedestrian pathways are not required to be defined with enhanced paving, and traffic calming devices are not required within the parking/drive areas.

## **VII. PROJECT DESIGN**

### **A. Community Vision and Architectural Design Style for PA-16.**

The architectural style shall invoke the feeling of a mountain lodge in PA-16. The facility structure(s) shall be a marriage of organic yet simple-lined superstructure and classic mountain retreat detailing. The buildings are to settle in as simple massing, while utilizing similar materials and forms to maintain a cohesive design approach. The overall massing of the Hotel is to be influenced by a more contemporary, simple, articulated façade. The conceptual design reflected in the figures in this Section 7 meets these standards.

### **B. Building Form and Scale.**

The design theme and character for PA-16 is unique to the remainder of the FEZ to set it apart as an independent facility within the overall FEZ framework. While the lodge theme of the hotel and conference center is unique, it blends well with the overall Early California architectural theme of the rest of the FEZ.

Figure 3 and Figure 4 are examples of the building silhouettes and massing that would comply with these Lodge Standards. These diagrams are conceptual, depict little, if any, architectural detail, and provide only an illustrative example of how the Lodge Standards might be implemented.

The Hotel will embody the characteristics described and generally depicted in Figure 6 through Figure 9. The Water Park will embody the characteristics described and generally depicted in Figure 10, using the general color palette depicted in Figure 8, Figure 9 and Figure 11.

Consistent architectural features and embellishments shall be carried throughout the entire building(s) and site amenities. The Hotel and Water Park are intended to be a large structure, or grouping of structures.

Articulation shall be included to the extent conceptually depicted in Figure 1 and Figure 4. The fifth and sixth floors of the Hotel shall be stepped back. A porte cochere shall extend outwards from the main entrance to add a sense of orientation for the motorist and pedestrian with relation to building massing. For safety, accessibility and visual interest, the ground floor shall be



articulated with entries and windows. Other types of articulation of the ground floor are not required. Iconic sculptural element(s) that evoke the character and theme of the resort may be included but are not required. The Water Park shall include a tower extending above the main roof, and shall include water slide tubes extending from at least one side of the building. The Water Park shall be coordinated with the Hotel by the use of similar colors and architectural coatings.

Additional articulation (such as additional stepping back, recesses, pop-outs, offsets, articulation in the roofline and/or extension of the eaves, varying roof elevations, differences in materials/finishes, color used to define the articulation of building recesses, and sun shade structures) may be incorporated into the Hotel and Water Park but is not required. Steeply pitched, heavily timbered porte-cochere and vestibule roof structures may be included but are not required. Other roofs also may be steeply pitched, but are not required to be.

### **C. Building Material.**

Durable, high quality materials and finishes shall be the basis of design for PA-16. Materials shall exhibit the general appearance reflected in the figures included in this Section 7. The following is a sampling of some, but not all, of the acceptable materials that may be used:

- Stucco style Exterior Insulation Finish System (EIFS)
- Pre-cast Concrete
- Rough Hewn timbers
- Manufactured Stone
- Painted Concrete (back areas)
- Standing Metal Screen Panels

### **D. Roof Form and Material.**

The majority of the 1 and 2 story buildings will have flat roofs, as shown in Figure 3. Key building elements and building entries may be (but are not required to be) steeper in slope, i.e. 6:12 slope. At wider building masses, a lower slope of 4:12 may be maintained to balance between building mass and roof mass, but is not required. Shorter building mass projections may use 10:12-12:12 slope, but this exact slope is not required. Rakes of any slope may be used, and eaves of any dimensions may be included.

### **E. Colors and Finishes.**

The colors and finishes shall exhibit the general appearance reflected in the Figures in this Section 7. Additional details, such as articulation or changes in surfaces, that are not referenced in this Section 7 may be included but are not required.

### **F. Accessory Elements and Screening.**

Entries shall be articulated as described above to accentuate the sense of arrival. Portico to be sized according to its function.

Accessory structures shall be designed to look like a continuation of extension of the nearby structures. They shall have architectural detailing, materials, color and landscaping similar to the primary structure.

Accessory structures shall be screened from public view by berms, landscaping, fences or ornamental screening. Materials compatible with the main structure, other screening elements, building accents or landscaping may be used for this purpose, but are not required.

Partial roofing of loading zones is not required. Loading zones shall be screened from pedestrian view with walls or fencing.

**G. Trash Enclosures.**

Refuse Collection areas shall be screened from public and guest room view.

Trash enclosures shall be constructed of concrete masonry units finished similar to buildings in the development, with self-closing gates and a water spigot. Trash receptacles and compactors shall not be visible from public rights of way. Trash enclosures shall be roofed.

All trash enclosures shall have opaque gates designed to be consistent with the development. The color of the gate shall match the color of the adjacent trash enclosure screening or be of a compatible accent color.

Trash enclosures shall have lighted access to meet federal accessibility standards. Additional lighting of trash enclosures is not required.

Trash enclosures may be located anywhere on the site so long as collection vehicles have thorough access within ten feet of the enclosure.

**H. Mechanical Equipment.**

Roof mounted mechanical equipment shall be screened from public view. Parapets or integral architectural elements may be used for this purpose, but are not required.

Equipment within standing seam metal roofing shall be finished to match generally the adjacent color.

Ground mounted mechanical equipment shall be screened from view by walls or fences compatible with the building architecture and sited in a location that is not immediately adjacent to pedestrian paths.

**I. Natural Gas Meters, Electrical meters, Site Utilities and Equipment.**

All utility meters and equipment shall be screened from public view. Materials compatible with the main structure, other screening elements, building accents or landscaping shall be used for this purpose.

**J. Exterior Architectural Lighting.**

The style of exterior lighting fixtures shall be consistent with the architectural style of surrounding buildings.

The extent of lighting fixtures and the level of exterior architectural lighting shall comply with city ordinances and codes.

Care shall be taken to specify lighting that does not spill into adjacent private properties.

#### **K. Signs.**

Signs shall be permitted in PA-16 as follows. See Figure 2 for major sign locations. The design of the signs shall conform substantially to Figure 12 through Figure 15. All signs shall conform to applicable requirements of state law and state regulations. Each permitted sign shall be deemed to be an on-site sign and shall not be deemed to be an off-site sign, an off-site commercial message or off-site advertising within the meaning of Chapter 17.54 of the Municipal Code.

- PA-16 Pylon Sign: There will be allowed one (1) on-premise double-faced pylon freeway-oriented sign for exclusive use for PA-16 . This sign may contain electronic text and act as a message board for the PA-16 resort, and may reflect information relating to the Lodge Project, and brands, products, services, retail uses or customers in the Lodge Project. The pylon sign shall incorporate architectural features, colors, and elements of the adjacent building character and style (PA-16). The overall height shall not exceed 75'. The maximum sign area shall not exceed 1,500 square feet per side, for a total of 3,000 square feet for both sides. Pylon sign height may be increased to 85' with a specific study reviewing topography, freeway height, base and top of proposed sign height, sight-line studies, and written report providing clearly defined justification for increased height. Study to be included as part of building permit application. See Figure 2 for general locations.
- Building Signs: Building signs shall be allowed on all elevations of building façades. The maximum area for each such sign shall be 250 square feet, and shall not total more than 2,900 square feet.
- Directories: There may be up to six (6) directional signs. They may be internally illuminated or indirectly lit. The maximum height shall be 6'-0" and shall the maximum sign area for each sign shall be 20 square feet with a total of 120 square feet for all directory signs.
- Monument: There shall be two on-premise monument sign structures, each of which supports one double-sided sign (one side facing each direction), for a total of two double-sided signs on two structures. Each sign structure may be as large as 14'-0" tall by 29'-0" wide. The maximum size each side of the double-sided signs shall be 8'-0" by 8'-0", and shall not exceed 256 square feet total for all four sides. Any such sign may be internally illuminated or indirectly lit. The design shall match the architecture of PA-16. The monument sign structure located mid-block along the southern edge of Daniels Avenue shall be set with conifer trees and the look of rock outcroppings, and shall be constructed within the area depicted by a dotted box in Figure 2, at a specific location to be agreed upon by Developer and City. The other monument sign structure shall be constructed at the project entrance, at the location depicted in Figure 2
- Third party signage shall be allowed on the exterior of the buildings, and the exterior of the outdoor pavilion. Such third party signage shall be limited to three total signs which shall not exceed 50 square feet each. The signage on the outdoor pavilion is not limited

as to content. The other two third party signs shall be related to the Lodge, its tenants, its onsite attractions, its customers, its vendors or its manufacturers.

- Misc. Signage: Miscellaneous signage on site/buildings shall be allowed when intended solely for the convenience of the guests and not the general public (i.e. way-finding signs, building entry signs, etc.). Such signage is unlimited.
- No signs relating to PA-1 through PA-15 are required within PA-16. The second pylon sign for PAs 1 – 15, that is referenced in Section 2.7.1 and shown conceptually in Figure 2.7.1, shall be located either outside of PA 16 or, with the landowner's consent, in the southeast corner of PA 16, within 25 feet of the eastern and southern property lines. The primary entrance feature depicted in Figure 2.7.1 shall not extend into PA-16.

#### **L. Landscaping.**

In keeping with the lodge theme, there are no restrictions on the use of conifer trees. Landscaping may reflect the mountain lodge theme and is not required to reflect a natural rustic theme. The site plan and landscaping in Figure 2 adequately reflects the radial view emanating from the central element referenced in section 5 of this Master Plan (see Figure 5.12). The monument sign along the southern edge of Daniels Street, the eye-catching feature of the exterior water slide tubes and outdoor pool, and the fact that the site design includes a north/south view corridor through the middle of the site, between two taller structures, all promote the radial concept and the notion of a view corridor drawing the eye from the center of the FEZ southward across Daniels Street to PA-16.

Landscaping shall comply with the Water Efficient Landscape Ordinance (WELO), which compliance shall be determined at the time of grading permit approval with respect to the area encompassed by that grading permit.

PA-16 may have its own site-specific, exterior furniture. Benches trash receptacles, and bollards may be included but are not required. Any exterior furniture that is installed shall be constructed of durable long lasting materials such as steel with a black powder coat paint finish, and securely mounted.

Trees shall be required to comply with size, shade and other applicable tree requirements as of maturity, and not when initially planted. The minimum planter size specified in Municipal Code section 17.48.050.K.3.d (which states "no planter shall be smaller than 5 feet wide by 5 feet long, or 25 square feet, excluding curbing") shall apply only to planters that are required. Landscaped islands shall be installed in the parking lot as shown in attached Figures 5 and 6, instead of as specifically required by Municipal Code section 17.48.050.K.3.c (which pertains to landscaped islands in parking lots).

Landscaping that is otherwise required in PA-16 may be replaced with solar panels in the parking lot, provided that 25% of the parking lot surface is shaded.

A truck access aisle along the eastern property line of PA 16 need not be landscaped, and the requirements of Municipal Code section 17.48.050.K.1.d, which pertains to perimeter landscaping, shall not apply to any such truck access aisle.

The landscaping that is conceptually depicted in Figure 1 and Figure 2 satisfies the requirement for a landscape buffer as depicted in figure 5.1.1 The fencing depicted in Figure 5.4.1 shall not

be required to be taller than six feet, which will allow the fences to block views of some but not all vehicles parked on PA-16.

### **VIII. STORMWATER MANAGEMENT**

The Lodge Project's storm drain system is subject only to the following requirements.

Stormwater management shall be accommodated with use of a detention basin generally as depicted in Figure 2, which shows one detention basin. The storm drain lines and storm drain corridor along the western and southern edges of PA-16 that are conceptually depicted in Figures 4.3.1 and 4.0.1 are not required. The use of exterior parking areas to retain stormwater is not required.

The Lodge Project's storm drain system will include water quality features designed in conformance with the standards of the Regional Water Quality Control Board for the Central Valley Region, the City of Manteca, and SSJID. Storm water regulations for construction projects using Best Management Practices will be incorporated into the design. Discharge flow rates from each detention facility into the FCOC will be in conformance with the requirements of the City of Manteca and the SSJID.

### **IX. PARKING**

Off-street vehicle parking for all uses included in the Lodge Project shall be provided at the rate of 1.5 vehicle parking spaces per guest room. Vehicle parking spaces may be sized to accommodate passenger vehicles, buses, trucks, recreational vehicles or any other roadway vehicles commonly used to transport families and groups to vacation and conference destinations. Any number of compact spaces may be included, but are not required. Electric Vehicle charging stations may be included, but are not required. The Lodge Project shall comply with Manteca requirements for ADA parking spaces.

Loading spaces shall comply with Municipal Code section 17.52.100. Ten bicycle parking spaces shall be provided, which may be located near the employee entrance to the site or located near a pedestrian crossing across Daniels Street, and which shall otherwise conform to the Municipal Code. Additional bicycle parking may be provided but is not required. Bicycle parking and access is deemed to comply with the City's Bicycle Master Plan.

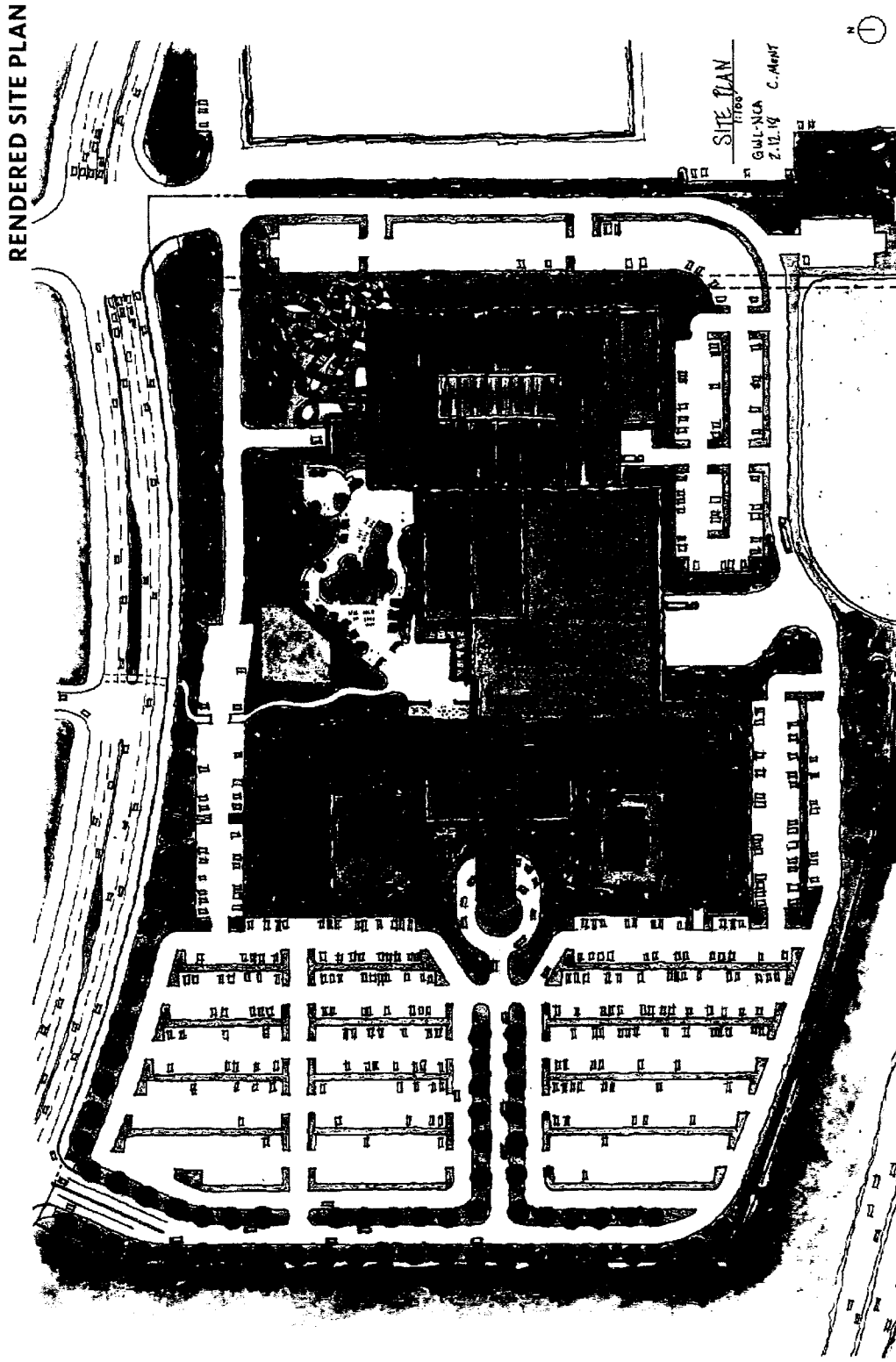
### **X. SUSTAINABLE DEVELOPMENT AND ENVIRONMENTAL CONSIDERATIONS**

The Lodge Project proposes a mix of lodging, dining, recreation and conference uses that enable guests and visitors to "park once" while enjoying a myriad of activities. It is accordingly pedestrian-friendly and discourages additional vehicle trips. In addition, the Lodge Project must comply with mitigation measures of the FEZ EIR, which include many energy-efficient and greenhouse gas reducing measures. The design requirements set forth above ensure appropriate shading. The Lodge Project is therefore in compliance with both the Climate Action Plan dated October 15, 2013 (into which the Lodge Project vests pursuant to a Development Agreement), and section 2.6 of the FEZ Master Plan. City staff shall confirm compliance with the Mitigation Measures during the grading and building permit process.

**XI. GROWTH MANAGEMENT ALLOCATION**

The Lodge Project is deemed to have been granted a project allocation referenced in Municipal Code section 18.04.050. The Project is deemed to be in compliance with all prerequisites to issuance of a building permit set forth in Municipal Code section 15.27.010, and with Mitigation Measure 3.15-1, which provides that "Prior to occupancy of any building that would require wastewater treatment services; the project proponent shall secure adequate wastewater treatment allocation through the City's allocation process."

Figure 1. Exterior/Rooftop



GREAT WOLF LODGE | NORTHERN CALIFORNIA | CONCEPT DESIGN

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Figure 2. Annotated Site Plan

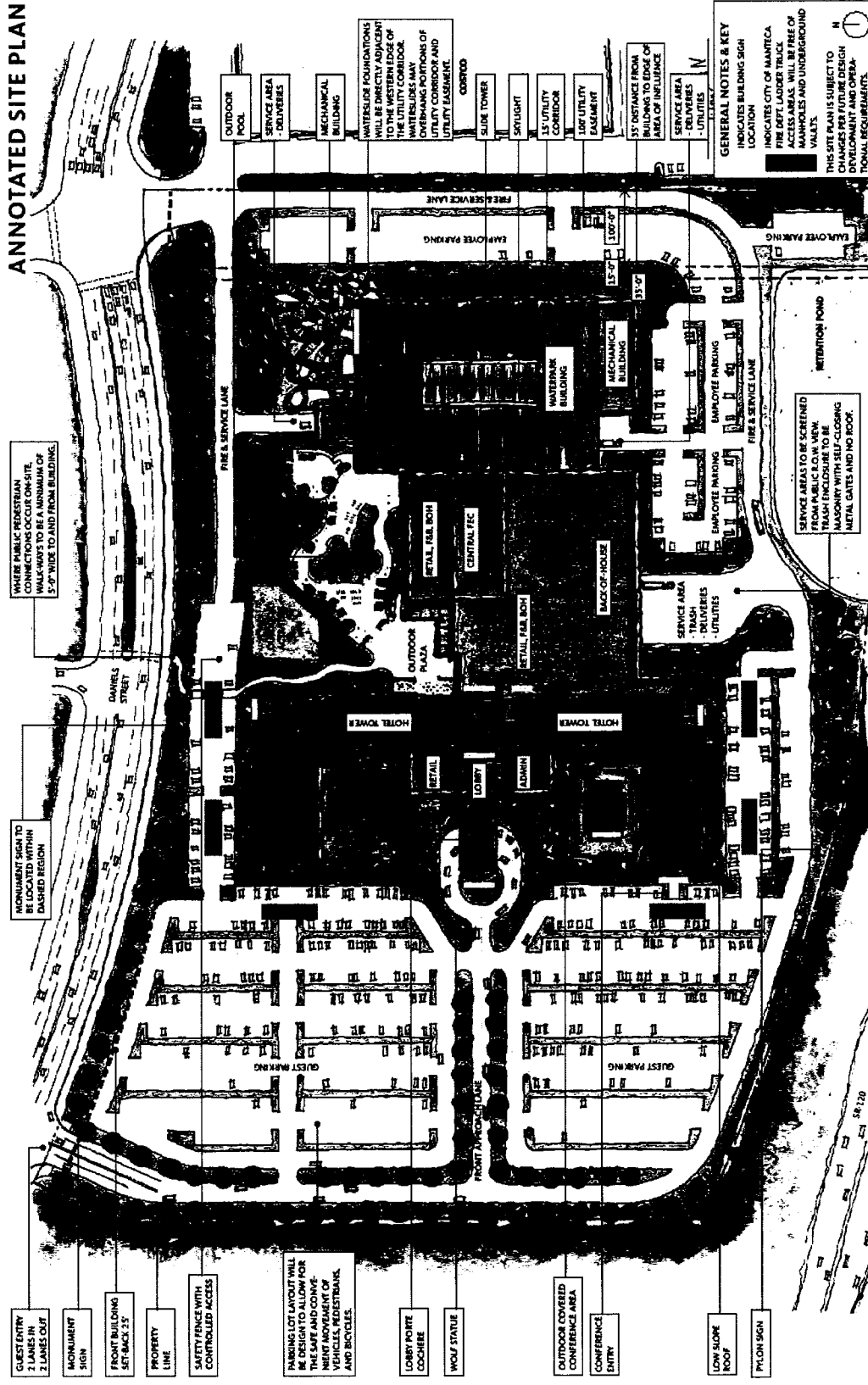
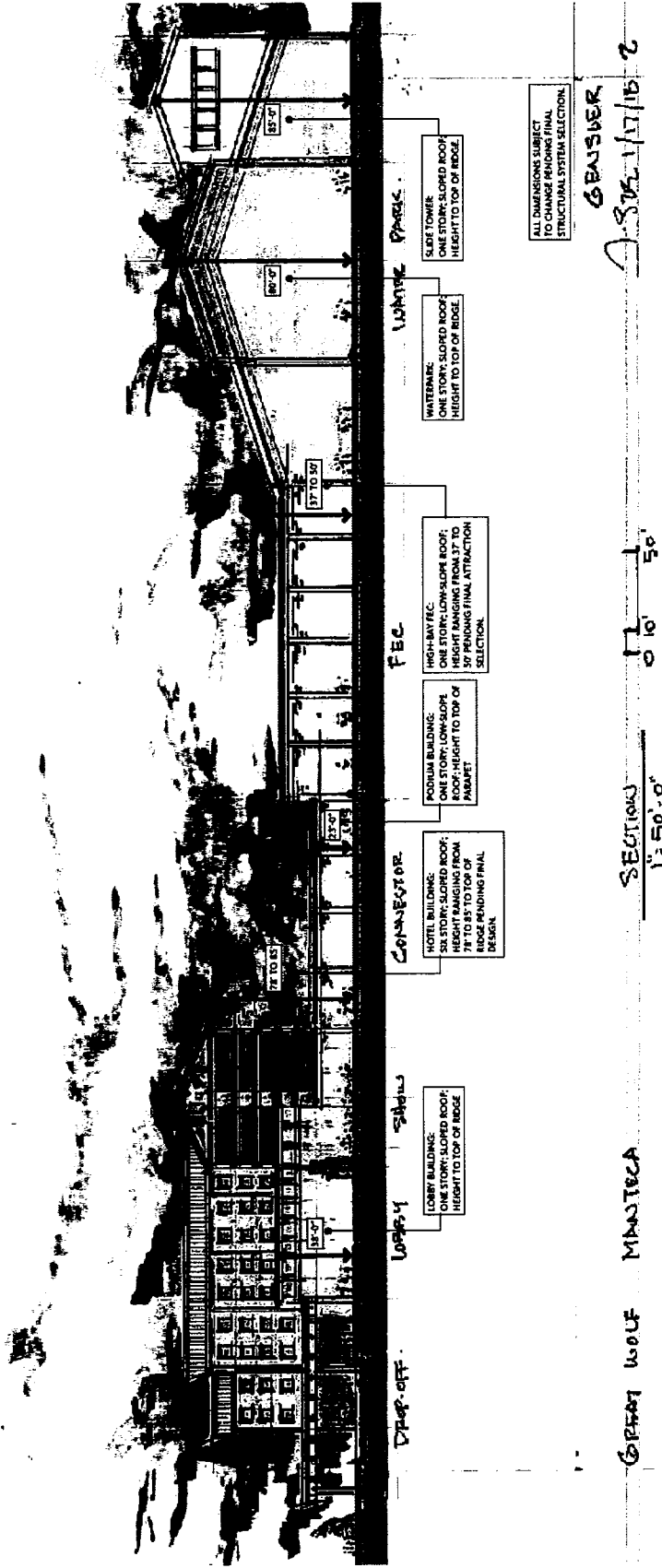




Figure 3. Structure Silhouette / Annotated Building Section

ANNOTATED BUILDING SECTION



GREAT WOLF LODGE | NORTHERN CALIFORNIA | CONCEPT DESIGN

2018.02.20 Gensler 4

Figure 4. Massing and Articulation

### ANNOTATED HOTEL PLAN

#### HOTEL ARTICULATION

BUILDING ARTICULATION "BUMP-OUTS" TO BE BETWEEN 12" AND 16" IN DEPTH.

THE TYPICAL LINEAR DISTANCE BETWEEN BUILDING ARTICULATION TO RANGE FROM 14' TO 56'.

AT NO POINT WILL THE MAXIMUM LINEAR DISTANCE BETWEEN BUILDING ARTICULATION EXCEED 74'-0".

THE ABOVE NOTES APPLY ONLY TO THE HOTEL TOWER BUILDING COMPONENTS.

ALL DIMENSIONS ON HOTEL FLOOR PLAN SUBJECT TO CHANGE PENDING FINAL STRUCTURAL SYSTEM SELECTION.

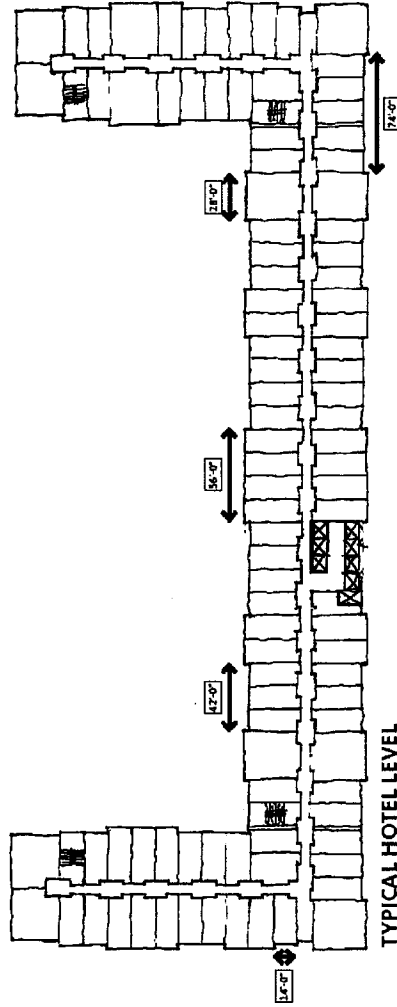




EXHIBIT "A"

Figure 5. Front Entry Rendering

FRONT ENTRY RENDERING

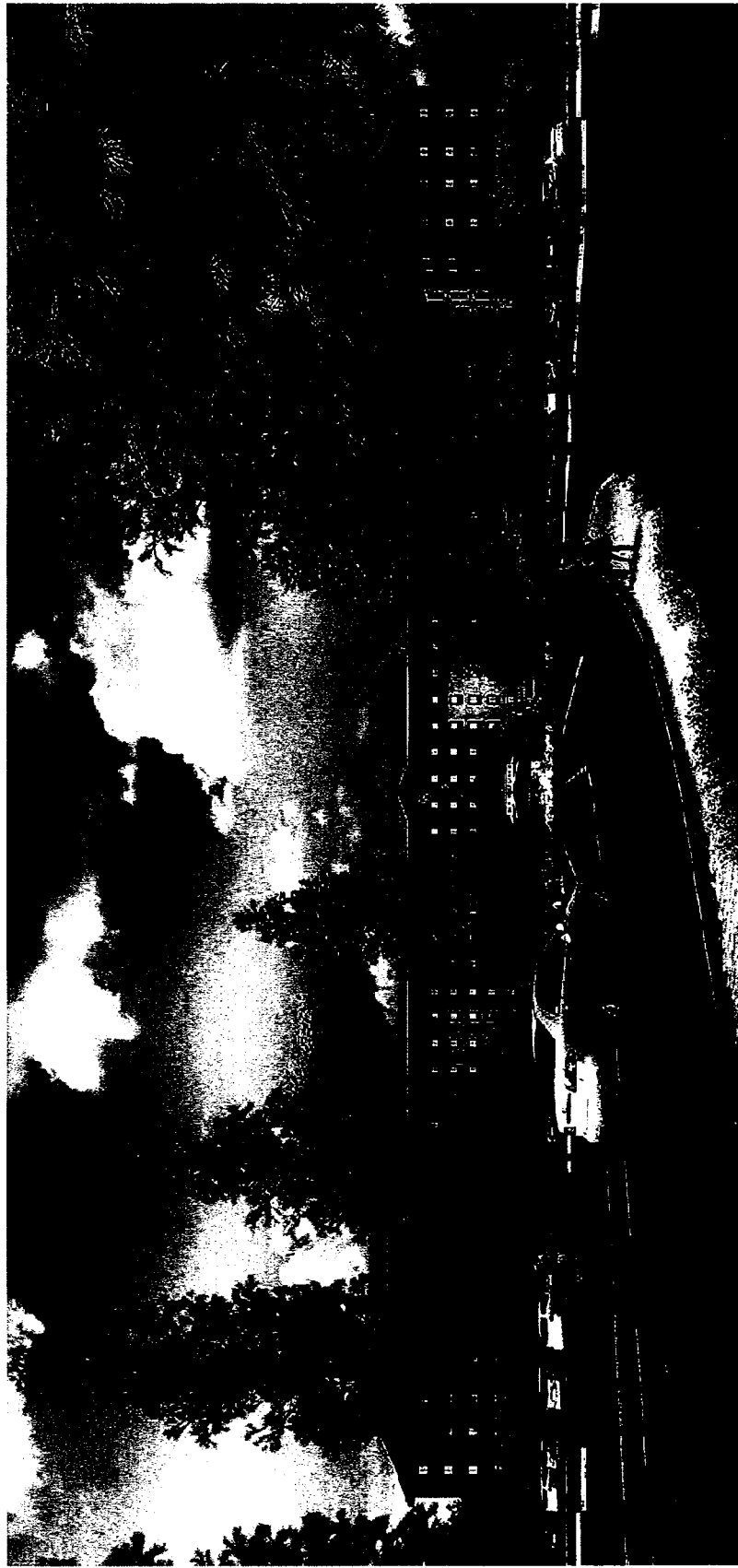




EXHIBIT "A"



Figure 6. Daniels Street Rendering

DANIELS STREET RENDERING

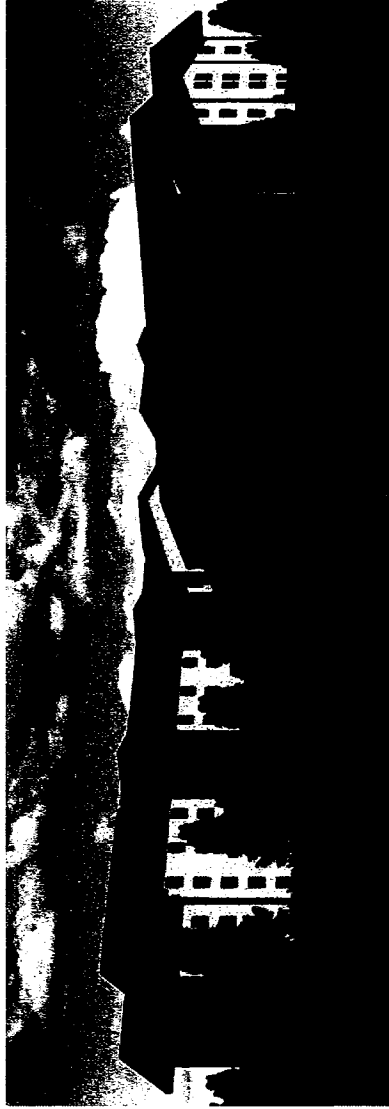


Figure 7. Exterior Building Materials

EXTERIOR BUILDING MATERIALS



CONCEPT RENDERING - ENHANCED FACADE AT LOBBY ENTRANCE & PORTE COCHERE\*



CONCEPT RENDERING - BASE FACADE AT HOTEL TOWER\*

**Facade Construction - Enhanced:**  
Exterior cladding to be concrete cement board siding above stone masonry base at ground level. Stone clad column bases & Stone clad pilasters. Roof at pitched regions to be asphalt shingle with gutters and downspouts. Roof at flat regions to be TPO over tapered insulation with roof drains, scuppers, and downspouts. Storefront glazing at public entrances & guest areas.

**Porte Cochere:**  
Structure to be glulam post and truss system with decking exposed on the underside. Roof to be asphalt shingle. Glulam posts to include stone clad base. Signage on porte cochere to align with Great Wolf brand standard. Wolf Statue located at or adjacent to porte cochere.

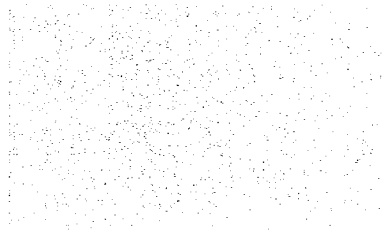
**Facade Construction - Base:**  
Exterior cladding to be precast concrete panels (or EIFS system or equal alternate). Exterior cladding to include 3 primary color variations with 2 accent colors. Roof at pitched regions to be asphalt shingle with gutters and downspouts. Roof at flat regions to be TPO over tapered insulation with roof drains, scuppers, and downspouts.

\* REFERENCE IMAGES ARE FROM RECENT GREAT WOLF PROJECTS. THEY ARE NOT THE EXACT DESIGN FOR THE PROJECT, BUT PROVIDE GUIDANCE ON THE GENERAL LEVEL OF DESIGN AND FINISHES FOR THE PROJECT.

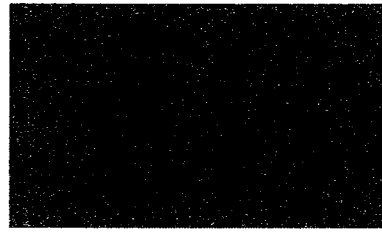


Figure 8. Building Color Palette

**BUILDING COLOR PALETTE**



**1. BODY:**  
LIGHT TAN



**2. LOWER BAND:**  
TAN



**3. VERTICAL ACCENT:**  
LIGHT BROWN



**4. UPPER BAND:**  
MEDIUM BROWN



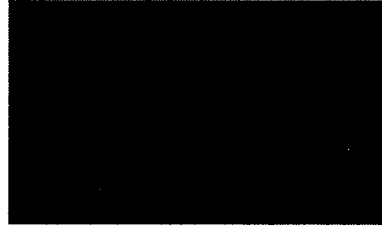
**5. TRIM AND TRUSS DETAILS:**  
DARK BROWN



**6. BASE:**  
DARKEST BROWN



**7. PAW SIGNAGE:**  
DARK RED



**8. TRUSS ACCENTS:**  
PALE GREEN

COLORS SHOWN ESTABLISH A BASIS OF DESIGN. DUE TO VARIATIONS IN MATERIALITY AND SOLAR EXPOSURE, COLORS MAY APPEAR SLIGHTLY DIFFERENT BASED ON MANUFACTURERS AVAILABLE PRODUCTS. FINAL MATERIALITY TO BE DETERMINED.



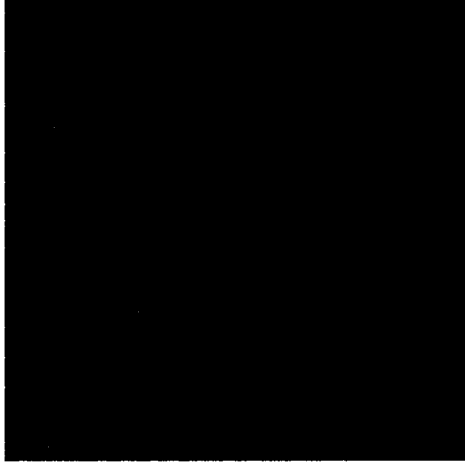
EXHIBIT "A"

Figure 9. Roof Color Palette

ROOF COLOR PALETTE



1. DEEP RED - ASPHALT SHINGLES  
PREFERRED OPTION



2. HICKORY - ASPHALT SHINGLES  
ALTERNATE OPTION



3. LIGHT BROWN - ASPHALT SHINGLES  
ALTERNATE OPTION

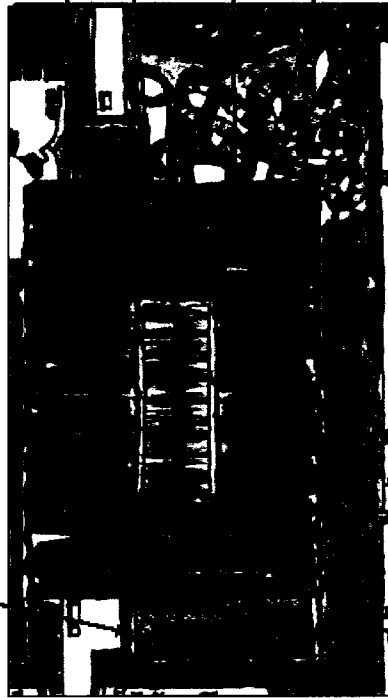
COLORS SHOWN ESTABLISH A BASIS OF DESIGN. DUE TO VARIATIONS IN MATERIALITY AND SOLAR EXPOSURE, COLORS MAY APPEAR SLIGHTLY DIFFERENT BASED ON MANUFACTURERS AVAILABLE PRODUCTS. FINAL MATERIALITY TO BE DETERMINED.

Figure 10. Water Park

# Great Wolf Resorts Indoor Waterpark



Mechanical support systems building, "Bunker Building"



Site Plan

**Scope Description**  
 Indoor water park design is depicted in plan and aerial rendering. Approximate size of the indoor waterpark including any mechanical supporting spaces and auxiliary utility facilities is 97,000 sq. ft. Indoor & outdoor Water park may expand from time to time.

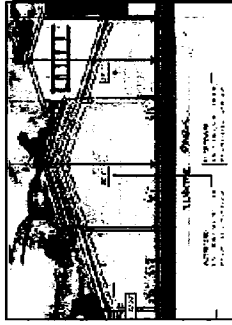
**Structure:**  
 Exterior wall structure method to be either tilt up construction or precast systems as depicted in rendering and site plan based upon local construction market availability. (Including Bunker Bldg & Mechanical support building)

**Main superstructure steel consists of the following:**

- Roof structure method to be gullin beams and decking supported on long span steel girders. Steel girders supported by interior steel columns and exterior walls. Steel columns to be erected on top of full concrete column base.
- Interior walls exposed to water or water to be concrete or masonry.
- Highest peak of the water park to roof supporting structure to be approximately 80'-0" above concrete slab and will drop down as depicted in section. Side tower sloped roof structure to extend up to 85'-0".
- Roof to be pitched with the ridge following the long axis of the building. Roofing material to be asphalt shingles or metal roof.

**Exterior:**

Exterior wall structure method to be either tilt up construction or precast systems with glazing as depicted in rendering and site plan based upon local construction market availability. Skylight glazing system as generally depicted in site plan.



Indoor Waterpark Section



Indoor Waterpark Volume study

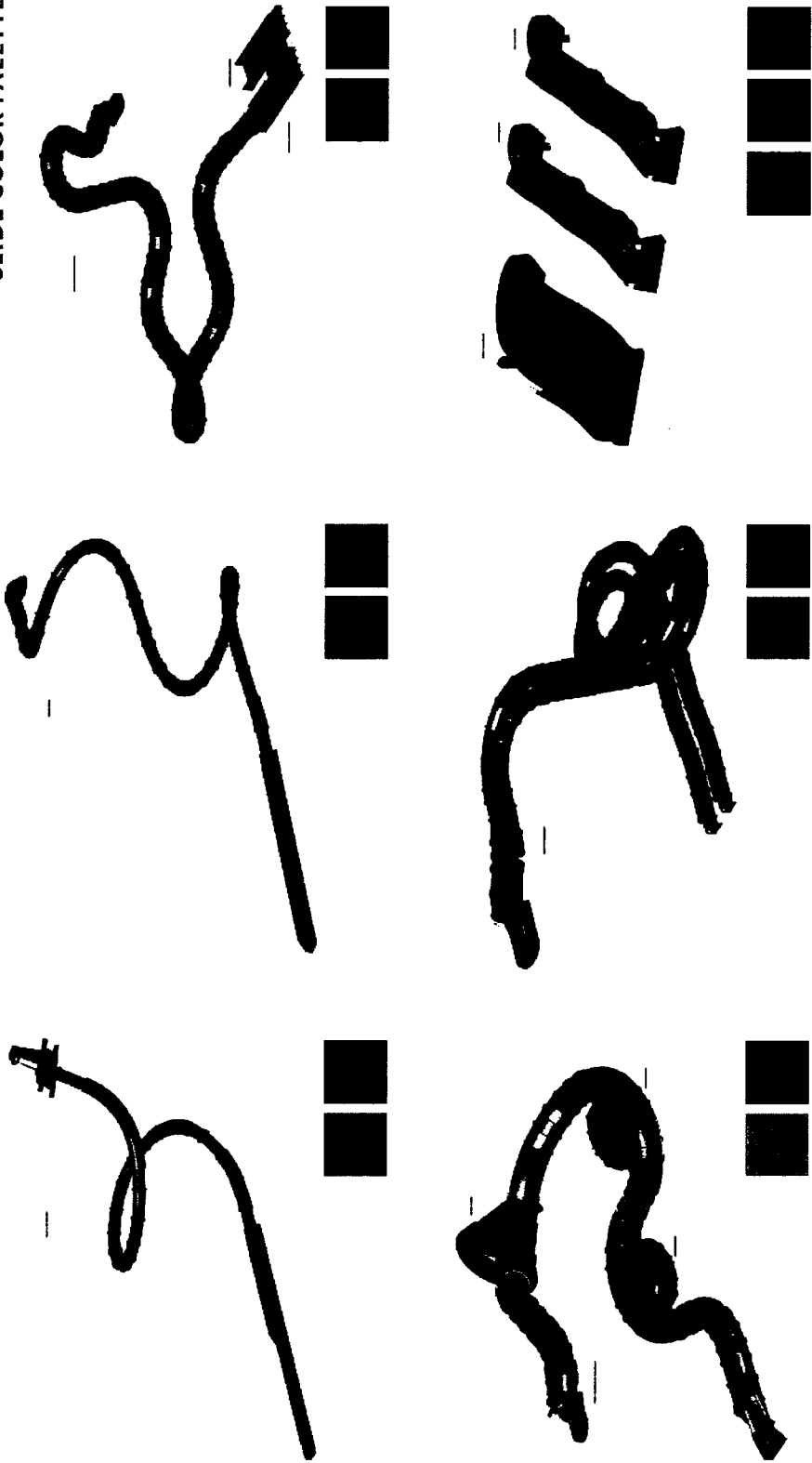




EXHIBIT "A"

Figure 11. Slide Color Palette

SLIDE COLOR PALETTE



COLORS SHOWN ESTABLISH A BASIS OF DESIGN. DUE TO VARIATIONS IN MATERIALITY AND SOLAR EXPOSURE, COLORS MAY APPEAR SLIGHTLY DIFFERENT BASED ON MANUFACTURERS AVAILABLE PRODUCTS. FINAL MATERIALITY TO BE DETERMINED.

Figure 12. Sample Exterior Wayfinding Signage

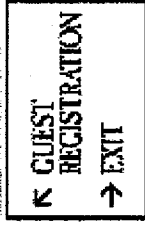
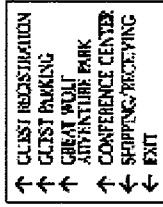
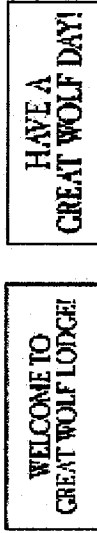


# Sample Exterior Wayfinding Signage

Exterior Signage Great Wolf Lodge Manitoba - Exteriors

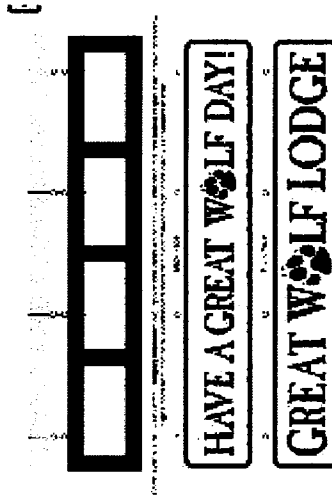
### Sample Exterior Wayfinding

Horizontal redwood or HDU exterior material, mounted with 2x4 posts, lighting from ground recommended if available. Note: Porte Cochere sign will be added to meeting room entrance as well. Number of directional signs TBD

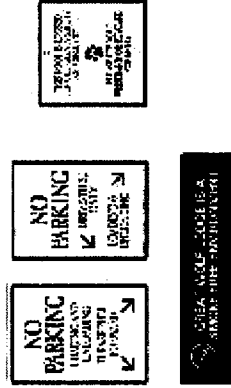


### Sample Porte Cochere Signage

Porte Cochere Welcome Sign, double-sided sign, sandblasted and painted redwood with hanging hardware (sample size 240"x66") Option to be Located at all main entries



Third party signs will be allowed on the exterior of the building. (Providing the Product, services or users or sold and or provided on site.



Number of site signage TBD

The above signage represents design intent only and are subject to change based upon branding updates.

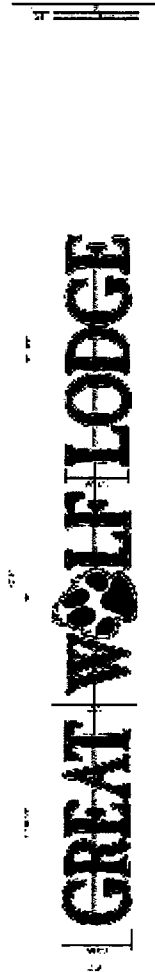
Figure 13. Exterior Building Signage



# Exterior Building Signage

### Exterior LED Signs

Sample Size: 60" Long, 48" Tall Letters, 60" Tall Logo, Frost LED Channel Letters, Backlight Mounted.

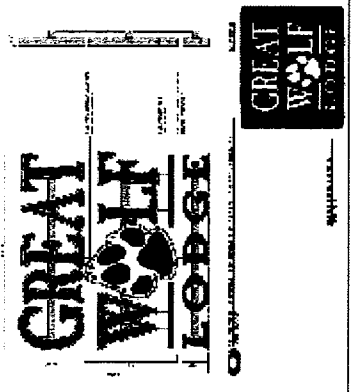


RIGHT VIEW INTERMEDIATE LUMEN LETTERS - 24" H X 24" W

Sign to be enlarged to 250 square feet

LED Channel LED Intermediate Sign  
Sample Size: 60" Long, 34-1/2" Tall Letters, 34-1/2" Tall Logo, Frost LED Channel Letters, Backlight Mounted, 100 sq ft

Sample Size: 48" Long, 24-1/2" Tall Letters, 24-1/2" Tall Logo, Frost LED Channel Letters, Backlight Mounted, 50 sq ft



The above signage represents design intent only and are subject to change based upon brand/logo updates.

Figure 14. Additional Branded Signage



# Additional Branded Signage

Great Wolf Paw LED Sign, Sample Size 11' (h) x 7' (w) @ \$9.2c/ft<sup>2</sup>

**PS-1 SIGNIFICANTLY LIT PAW SIGNS**  
 1. SIGN SHALL BE ILLUMINATED FROM THE REVERSE SIDE.  
 2. SIGN SHALL BE MADE OF ALUMINUM OR ANOTHER DURABLE MATERIAL.  
 3. SIGN SHALL BE MADE OF ALUMINUM OR ANOTHER DURABLE MATERIAL.

**Monument Sign Sample**

**Color Specifications**  
 4  
 PANTONE 19-0641 C  
 PANTONE 19-0641 C

**Material**  
 1. ALUMINUM SIGN  
 2. SIGN SHALL BE MADE OF ALUMINUM OR ANOTHER DURABLE MATERIAL.

**Monument Branded sign**  
 Will vary in height & width depending upon location)  
 Maximum 14'-0" height AFG  
 Maximum 29'-0" width

**All signage shown is sample signage only, content will be customized upon site visit.**

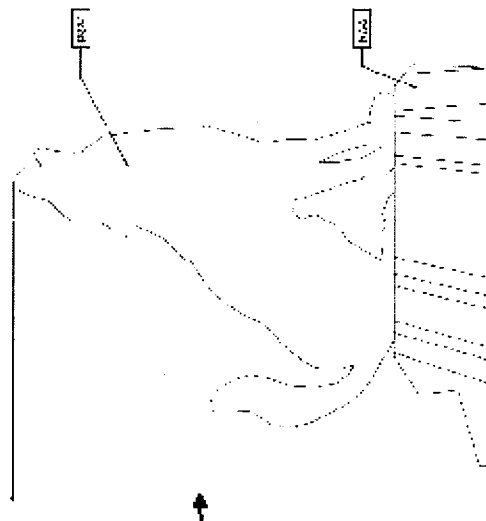
The above signage represents design intent only and are subject to change based upon brand/logo updates.

Figure 15. Sculptural Elements

# Iconic 3D Dimensional Sculptural Elements



**Iconic three dimensional sculptural element. Actual design subject to GWR brand standards and artists interpretation. May have up to three locations.  
Sculptural elements may vary in height.**



Sculpture heights may vary. (Height of sculpture may extend to 25 feet in height plus height of stone base)

3 DETAIL ELEVATION - ENTRY WOLF

1/11/18

**SECTION 3: Severability.** If any section, sub-section, subdivision, paragraph, clause or phrase in this Ordinance, or any part thereof, is for any reason held to be invalid or unconstitutional, such decision shall not affect the validity of the remaining sections or portions of this Ordinance or any part thereof. The City Council hereby declares that it would have passed each section, sub-section, subdivision, paragraph, sentence, clause or phrase of this Ordinance, irrespective of the fact that any one or more sections, sub-sections, subdivisions, paragraphs, sentences, clauses or phrases may be declared invalid or unconstitutional.

**SECTION 4: Effective Date.** This Ordinance shall become effective thirty (30) days following adoption.

**EXHIBIT ATTACHED:**

Exhibit "A" Amendments to Family Entertainment Zone Master Plan

City of Manteca, a municipal corporation

MAYOR: Stephen DeBrum  
STEPHEN F. DEBRUM

ATTEST: Lisa Blackmon  
LISA BLACKMON, CITY CLERK

STATE OF CALIFORNIA }  
COUNTY OF SAN JOAQUIN } SS:  
CITY OF MANTECA }

I, Lisa Blackmon, City Clerk of the City of Manteca, do hereby certify that the foregoing Ordinance had its first reading and was introduced during the public meeting of the City Council on the 20<sup>th</sup> day of March, 2018, and had its second reading and was adopted and passed during the public meeting of the City Council on the 3<sup>rd</sup> day of April, 2018, by the following vote:

AYES: Moorhead, Morowit, Silverman, Singh, DeBrum

NOES: None

ABSENT: None

ABSTAIN: None

ATTEST: Lisa Blackmon  
LISA BLACKMON  
City Clerk