

# FAMILY ENTERTAINMENT ZONE

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## Master Plan Manteca, CA

Amendment 1  
*February 2016*



prepared for  
The City of Manteca

submitted by  
Manteca Development  
Group  
and  
McWhinney Real Estate  
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Amendment 1

February 2016

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Section 1

# Introduction and Existing Conditions



# Section 1 – Introduction and Existing Conditions

## 1.1 Purpose

The Family Entertainment Zone (FEZ) Master Plan has been prepared to provide a comprehensive planning document to guide and direct development of the 210.7 acre FEZ project. The FEZ Master Plan establishes the land uses, development concepts, guidelines and standards based on the goals and policies articulated in the City's General Plan. The land uses, development standards and design establish the development vision and will facilitate implementation of consistent quality and character for the Plan Area. The FEZ is intended to be more specific in guiding and directing development of the Plan Area. The Master Plan will serve as the implementation tool for the City of Manteca with the following Goals:

- Establishing development standards for the FEZ Plan area to overlay the Manteca Zoning Ordinance
- Provide an opportunity for a multi-use development project
- Provide destination recreation, retail, hotel and accessory facilities with the opportunity to supplement existing City facilities and attract tax generation for the City of Manteca
- Establish a framework for development with streamlined implementation
- Provide for a viable phased extension of City infrastructure and services to the FEZ

## 1.2 Project Narrative

Since 2010, the City of Manteca has been in the process of developing a plan for a comprehensive multipurpose public use zone called the Manteca Family Entertainment Zone. The Plan will encompass multiple projects and parcels that will provide an extensive recreation complex featuring new and existing recreation, park, water, sports and other leisure amenities. The FEZ planning area will be open and accessible to the general public, and is planned to serve the state, region, and the Manteca community as a multipurpose recreation center and public park facility. The FEZ will feature a wide range of active and passive open space and developed uses that will support short term and longer term activities and community events for users ranging from local citizens, day and weekend regional visitors, as well as destination tourists.

The Master Plan for the FEZ was developed in cooperation with the two private sector developers who are proposing to design and build the facility. The Master Plan will provide the zoning designation of the FEZ as well as provide development standards to implement future development.

Projects and uses in the FEZ may be constructed and operated through a series of third party agreements, concessions and/or licensing agreements which may include ground leases of up to 55 years, with some uses needing longer lease terms up to 99 years. Projects and uses may be constructed and operated through a series of private-public partnerships whereby private sector operators and vendors of various public facilities are selected to develop and operate components of the FEZ. These components may include: public active and passive recreation and park facilities and sports amenities, and various commercial operations that are ancillary to the foregoing public facilities.



The FEZ will include public active and passive recreation and sporting facilities to be operated by public agencies and/or private sector vendors or operators, including the addition of the ball fields associated with and adjacent to Big League Dreams (BLD) Park, as well as the addition of multi-purpose playfields, primarily for soccer.

Certain project components of the FEZ will be public visitor serving in support of the extended use of the various public recreation and sporting amenities (such as hotels, restaurants, retail, and conference centers). Proposed and future development projects will include recreation tourism facilities such as overnight lodging, conference/convention/exhibition facilities and specialized recreation attractions such as an indoor water park available to overnight guests. The primary objective of such uses is to expand the access to current and future public sports and recreation facilities, and expand access for out-of-area public participation in tournaments and training camps. These features will enable and increase the number and duration of extended stay periods for visitors and help facilitate public access for broader uses such as special events and on-site educational activities. Certain components and phases of the FEZ may include commercial retail and restaurant uses that serve park facility patrons and tournament participants and spectators as well as local clientele.

### **1.3 Statement of Project Objectives**

The City of Manteca has developed the following list as the guiding principles and objectives of the Family Entertainment Zone.

- To expand and improve public and community access to the City's existing and thriving investments in regional sports facilities to provide additional community-based facilities to extend the City's position as the primary destination for family-based community recreation, active recreation sports and passive recreation and amenities in Central California.
- To enhance and build upon the regional tourism and visitor-serving attractions providing supporting destination facilities such as hotels, indoor or outdoor water park and convention/meeting/ exhibition facilities that will facilitate and support the frequency and duration of utilization of the recreation and sports facilities through the FEZ.
- To enhance Manteca's reputation as "The Family City".
- To position Manteca to serve what is projected to be a trend toward a younger population in the region by providing an excellent youth sports and entertainment destination with critical mass to ensure its success.
- To provide facilities that support what has been identified as a growing trend toward family vacations being centered on regional youth, adult, and master's tournaments, as well as league sporting events, that require multiple day stays and can be tied to a variety of visitor interests including special events, education seminars, private events such as conferences, weddings, other social and cultural expositions, all of which are available to the public and the visitors/users of the FEZ.
- Specifically, to capitalize on the success of the Big League Dreams' sports facilities (currently booked weekends, two years in advance), by creating additional critical mass in regional sports and active facilities.
- To provide additional food and beverage facility choices to serve visitors to Manteca and users of the various facilities developed within the boundaries of the FEZ.
- To add to the proven regional draw enjoyed by Woodward Soccer Fields, which further helps to define Manteca as a regional tournament sports destination.

- To accentuate the site's strategic location along SR 120, which serves as the primary vehicular corridor from the Bay Area to Yosemite National Park and the Central Sierra Nevada Mountain areas.
- To raise the City's visibility in the region, particularly for all residents and citizens driving through the region.
- To create a Yosemite/Central Sierra Nevada Visitors Information Center for travelers to utilize on their trip to the national park and nearby national forests.
- To create a business center facility that is available to all groups and can utilize and augment utilization of the various active and passive recreation and sports facilities as well as all ancillary concessions and operations such as support retail and dining facilities.
- To expand upon the thriving regional draw of Bass Pro Shops, which is located on the south side Highway 120 to the southeast.
- To provide a walkable, safe, and friendly leisure and recreation environment for the citizens of Manteca and the region.
- To provide quality indoor and outdoor community gathering spaces for socializing, dining, and entertainment.
- To expand and install a series of public improvements in support of the FEZ, including but not limited to, the east-west vehicular connection between McKinley Avenue and Airport Way, public parking facilities throughout the FEZ, and to facilitate improvements to the storm water drainage system shared by the City and the South San Joaquin Irrigation District (SSJID).
- To facilitate the City's economic development and jobs-creation goals and objectives.

## 1.4 Regional Context

The FEZ is situated in the southwestern area of the City of Manteca adjacent to Highway 120, in the heart of the Central Valley. The Plan Area is proximate to the interstate highway system including Highway 120, Interstate 5, and Highway 99. The location of the Plan Area near major interstate highway linkages provides direct access to large metropolitan areas of the State including Sacramento, San Francisco, and Los Angeles. The Plan Area is also proximate with direct access to recreational opportunities available in the San Joaquin Delta and the Sierra Nevada Mountain Range. The location is on the main highway access between the San Francisco Bay Area and Yosemite National Park.

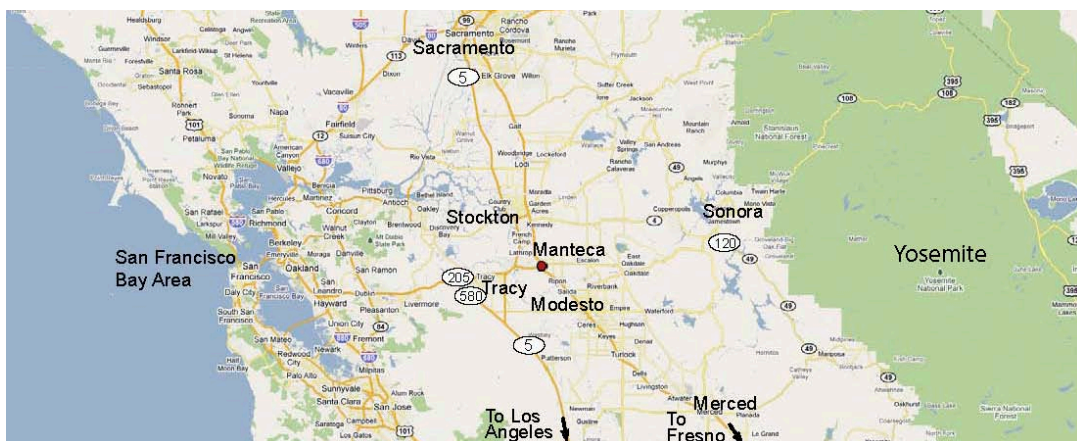


Figure 1.4.1 – Regional Map

## 1.5 Plan Area

The FEZ property is located in the southwestern portion of the City of Manteca (refer to Figure 1.5.1). The Plan Area is approximately 210.7 acres and is located within the PQP (Public/Quasi-Public) zoning designation. The Plan Area lies north of Highway 120 approximately 2 miles east of Interstate 5 and 4 miles west of Highway 99. The southern boundary of the Plan Area is defined by Highway 120. The Plan Area is further bounded by the Union Pacific Railroad and McKinley Avenue to the west, the City-owned wastewater treatment facility to the north, and underdeveloped lands to the east. Airport Way is further to the east, but not bordering the Plan Area, with an existing interchange at Highway 120 and Airport Way with a large shopping center (Stadium Center). A new interchange is currently proposed as a Caltrans Tier 1 project at Highway 120 and McKinley Avenue.

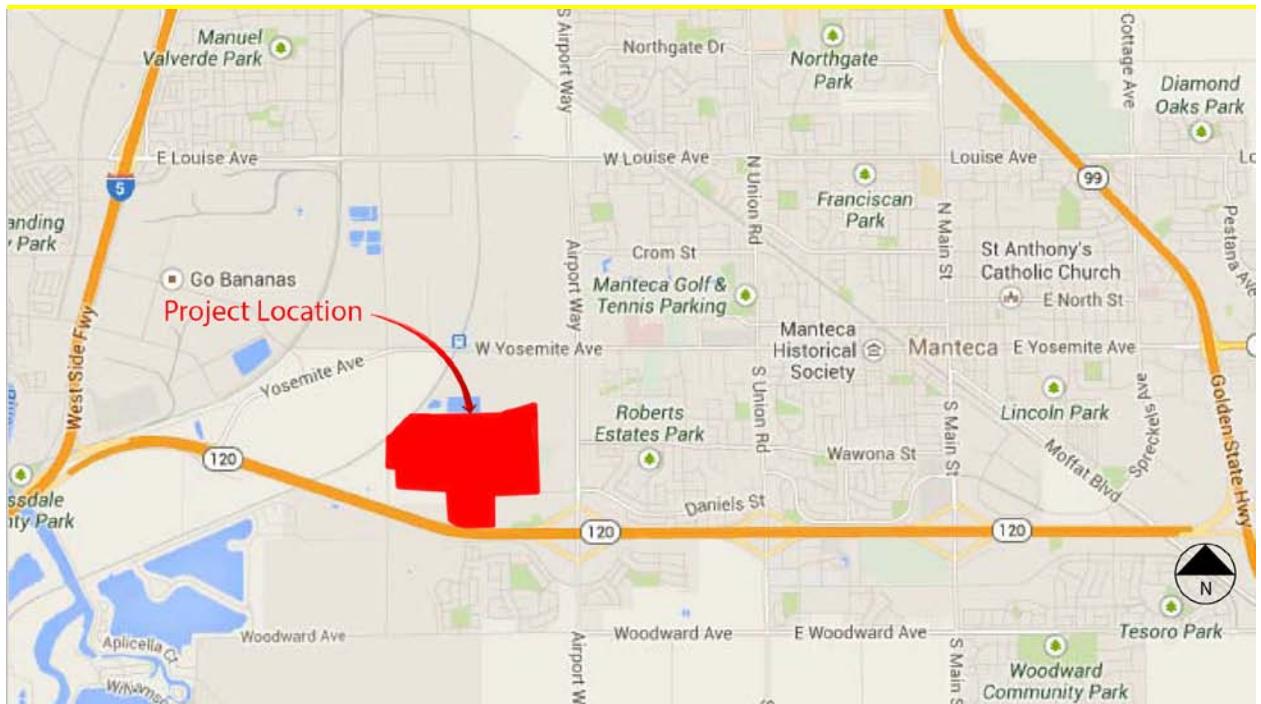


Figure 1.5.1 – Location Map

## 1.6 Overview / Project Description

The Master Plan will create an overlay zone to the existing zoning of Public/Quasi-Public (PQP). The FEZ Master Plan includes a comprehensive land plan with design standards and guidelines to guide the development of the 210.7 acres of Plan Area property that lies within the City of Manteca. The Master Plan provides for a multi-use development that offers a significant opportunity for the City of Manteca to attract recreation, entertainment, retail, restaurant, and commercial uses.

The Plan Area incorporates the existing approximate twenty-eight (28) acre Big League Dreams (BLD) facility and provides an additional twenty-five (25) acres to expand BLD and provide soccer fields. There is approximately sixty-two (62) acres identified for a potential mix of indoor and outdoor entertainment/recreational uses including a location for an outdoor stadium. The Plan Area provides approximately thirty-three (33) acres of commercial shopping that will generate approximately three hundred sixty thousand (360,000) square feet of retail and dining type uses. There is approximately twenty-nine (29) acres provided for a hotel/lodge, convention center and indoor or outdoor water park.

### Family Entertainment Zone

The FEZ Master Plan is comprised of five basic design components: Retail and Restaurant, Recreation and Sports, Hotel/Resort, Entertainment, and Parking. There are 16 plan areas within the FEZ that fall into these five categories – see Section 2.0 and Figure 2.0.1.

### Retail and Restaurant



The Destination Retail and Restaurant area provides an opportunity to attract job generation and economic development to the west side of Manteca. It is strategically located along the Highway 120 corridor to ensure project visibility for future end-users, and to provide access to the Highway 120 corridor. The relationship to the existing and proposed recreational facilities and the hotel provides for customer base.

### Recreation and Sports



The proposed recreational and sports uses serve to augment the existing and established success of Big League Dreams. This will serve as the integral part of the overall Plan Area providing both passive and active open space, recreation areas, sports fields, stadiums, as well as gathering spaces for the community. Located throughout the project, the recreation areas will remain easily accessible to all users of the FEZ through a well-integrated and well-planned internal street network that encourages both bicycle and pedestrian use.

### Hotel/Resort/Conference Center



The proposed hotel/resort site will serve to provide lodging for users coming into town for the destination experience. It is to be a full-service hotel with additional recreational and dining opportunities. A convention center shall be provided with the hotel and the hotel shall also provide recreation facilities that are complimentary to the FEZ, such as a water park.

### Entertainment



The proposed entertainment areas serve to provide enjoyment for the whole family. Through thoughtful design this central piece of the FEZ will serve to bring people together to enjoy communal leisure time. It will be comprised of a variety of recreation and leisure activities which may include: miniature golf, golf cart racers, arcade games, and Laser-tag, among other things.

## **Family Entertainment Zone**

## Parking



While parking is an integral component throughout the Plan Area, the land that is under the High Voltage power lines that traverse the site has been dedicated to supporting the parking needs of the entire Plan Area. These parking areas provide ease of access to the main element of the Plan Area.

## **1.7 Plan Adoption and Regulation**

The FEZ Master Plan is intended to be adopted by the City Council and to serve as a tool for the City of Manteca to implement the Plan Area Zoning. The Master Plan is to be used by designers, developers, builders, and planners, to guide development of the Plan Area. The land use, development standards, and design guidelines are provided to ensure that all proposed developments remain consistent with the vision established by this Master Plan as the project is built over time. The Master Plan development concepts, design guidelines, and standards are in accordance with the City's General Plan, Municipal Ordinances, and City Standard Plans and Specifications. The Master Plan shall be used to review, process, and approve development proposals for the Plan Area including but not limited to site specific development applications and site improvement plans.

Formation of one or more Community Facilities Districts (CFD) is also anticipated for the FEZ. The objective in forming CFDs is to provide financing for public improvements associated with the project, which may supplement funds available from former redevelopment bond proceeds.

## **1.8 Master Plan Organization**

The FEZ Master Plan is divided into six sections:

*Section 1 - Introduction and Existing Conditions* provides the introduction to The FEZ project and discusses the current conditions of the Plan Area and surrounding areas.

*Section 2 - Land Use and Architecture* describes the land use and community design of the Plan Area through design direction.

*Section 3 - Circulation and Parking* addresses the hierarchy of the street network and includes a discussion of pedestrian and bicycle networks. This section also includes parking design guidelines.

*Section 4 - Infrastructure* addresses the public utilities for the Plan Area.

*Section 5 - Landscape and Open Space* addresses open space design standards and guidelines, right-of-way landscaping, entry features and other open space features of the Plan Area.

*Section 6 - Administration and Implementation* covers implementation of the Master Plan.

*Appendix A - Allowed Use Definitions.*

*Appendix B - Master Plant List.*

## 1.9 Existing Land Use

The proposed FEZ Master Plan Area is within the City of Manteca and designated as Public/Quasi Public (PQP) by the City's General Plan. The Plan Area remains largely in agricultural use with large undeveloped parcels; the only developed use within the existing plan area is Big League Dreams situated along Milo Candini Drive. The agricultural use is primarily fields with an overhead power line easement. The topography of the Plan Area is relatively flat. Currently, the main access to the Plan Area is provided by Daniels Street.

The site is currently under typical farming practices of row crops with irrigation and harvesting operations. In the summer of 2014 the predominate crop was corn. There is a network of dirt farm roads to access the fields. The irrigation water is supplied from two basins immediately north of the site which are filled with treated municipal waste water and process water. There is a South San Joaquin Irrigation District (SSJID) canal that runs diagonally through the site.

Surrounding land uses include The Stadium Center shopping center to the southeast adjacent to and between the site and Highway 120. The City of Manteca regional water quality control facility lies to the north of the property, orchards and fields are found to the east of the site and the Union Pacific Railroad and McKinley Avenue border the west.



Figure 1.9.1 – Existing Land Use Map

## 1.10 Existing Facilities

The City of Manteca and the SSJID maintain several easements within the Plan Area for the purpose of conveying agricultural irrigation water and treated effluent agricultural drainage water. Three major SSJID facilities/canals (Drain 7, Drain 8, and the French Camp Outlet Canal) traverse the site. These are joint use facilities; used by SSJID during the summer to carry agricultural drainage, and by the City of Manteca during the winter to convey storm drainage runoff. There is also a network of other irrigation-related improvements that will be discontinued upon development and will be abandoned or removed.

### Family Entertainment Zone

## 1.11 Existing Circulation and Access

The site currently and historically has been utilized for agricultural purposes. As such, there are almost no existing improved roadways, public or private, within the Plan Area. The exceptions to this are the terminus of Daniels Street at the southeast corner of the Plan Area, and Milo Candini Drive along the eastern edge that serves Big League Dreams. Also, McKinley Avenue borders the west edge of the plan area.

The regional access to the Plan Area is via Highway 120. Highway 120 provides an east-west link between Interstate 5 and Highway 99 which are the primary north-south links through the State of California. Highway 99 is 3.5 miles to the east and Interstate 5 is 3 miles to the west. Highway 120 is connected to the Plan Area via the west end of Daniels Street from the existing interchange at Airport Way. Airport Way and McKinley Ave. provide local access to the Plan Area from the north (Manteca and Lathrop) and south (south side of Manteca). There is a proposed interchange at McKinley Ave. and Highway 120, but it is not yet built and is not a part of the scope of this Master Plan.

See Section 3 for proposed circulation improvements.

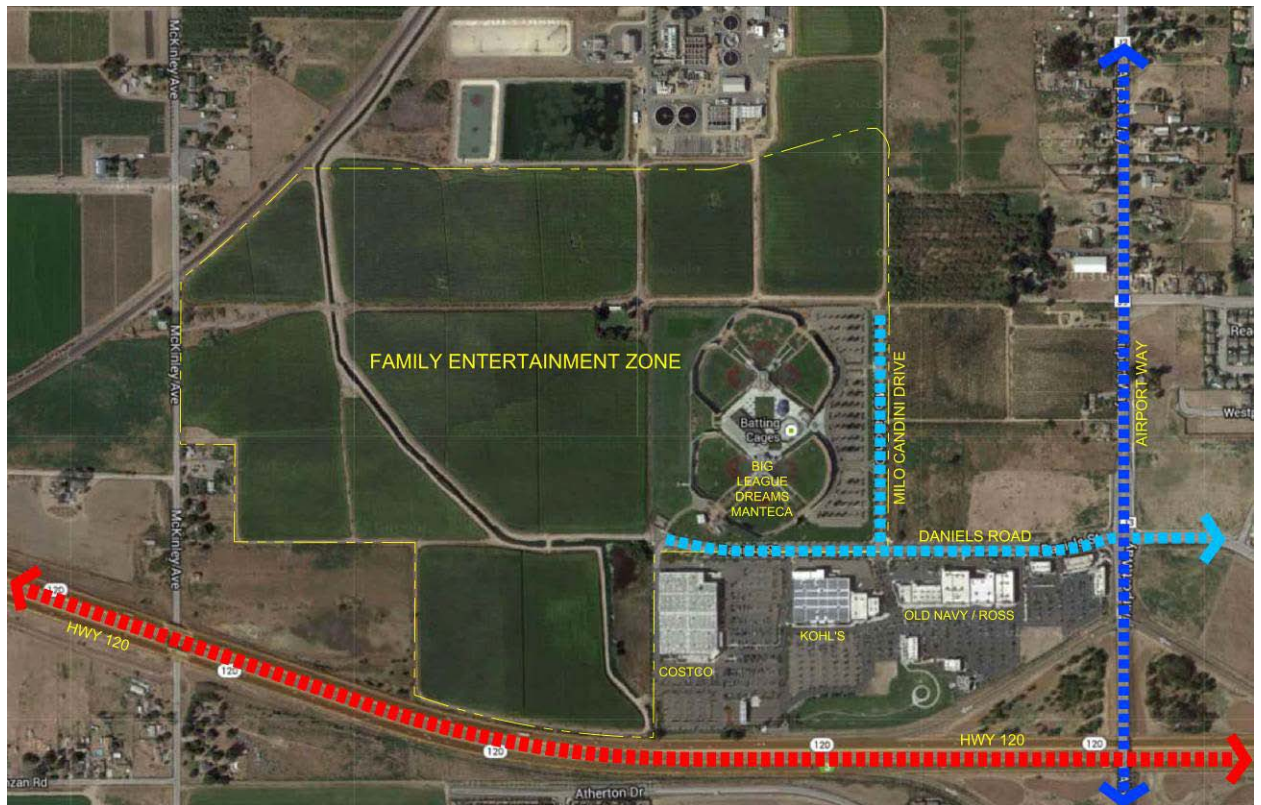
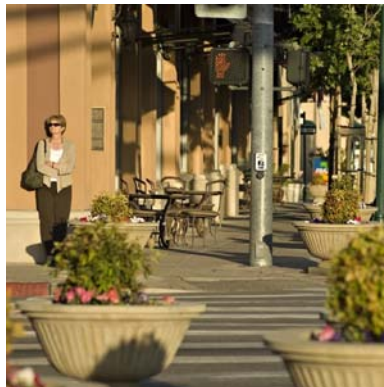


Figure 1.11.1- Existing Circulation and Access Map

Section 2

# Land Use and Architecture

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## Section 2 - Land Use and Architecture

### 2.0 Land Use Concept

The Manteca Family Entertainment Zone (FEZ) Master Plan provides a comprehensive land use planning tool that provides the framework for development of the approximately 210.7 acre Plan Area. The intent of the Master Plan is to ensure a quality built environment that integrates a mix of land uses under a single uniform set of design and development requirements. The FEZ Master Plan intends to build upon the success of the Big League Dreams facility by providing additional sports and field recreation, hotel and tourism (resort), entertainment, retail, commercial, and restaurant uses along the highly visible Highway 120 corridor. Although the FEZ may develop in multiple phases as individual land use/planning areas, this Master Plan will help the separate phases come together and operate as a cohesive and integrated entertainment/recreational facility.

The FEZ Master Plan Area is divided into 16 Planning Areas (“PAs”) with five land use categories to group similar land uses: Retail and Restaurant, Entertainment, Hotel Resort, Recreation and Sport (fields), and Parking (See Figure 2.0.1). Also, see descriptions in Section 1.6.

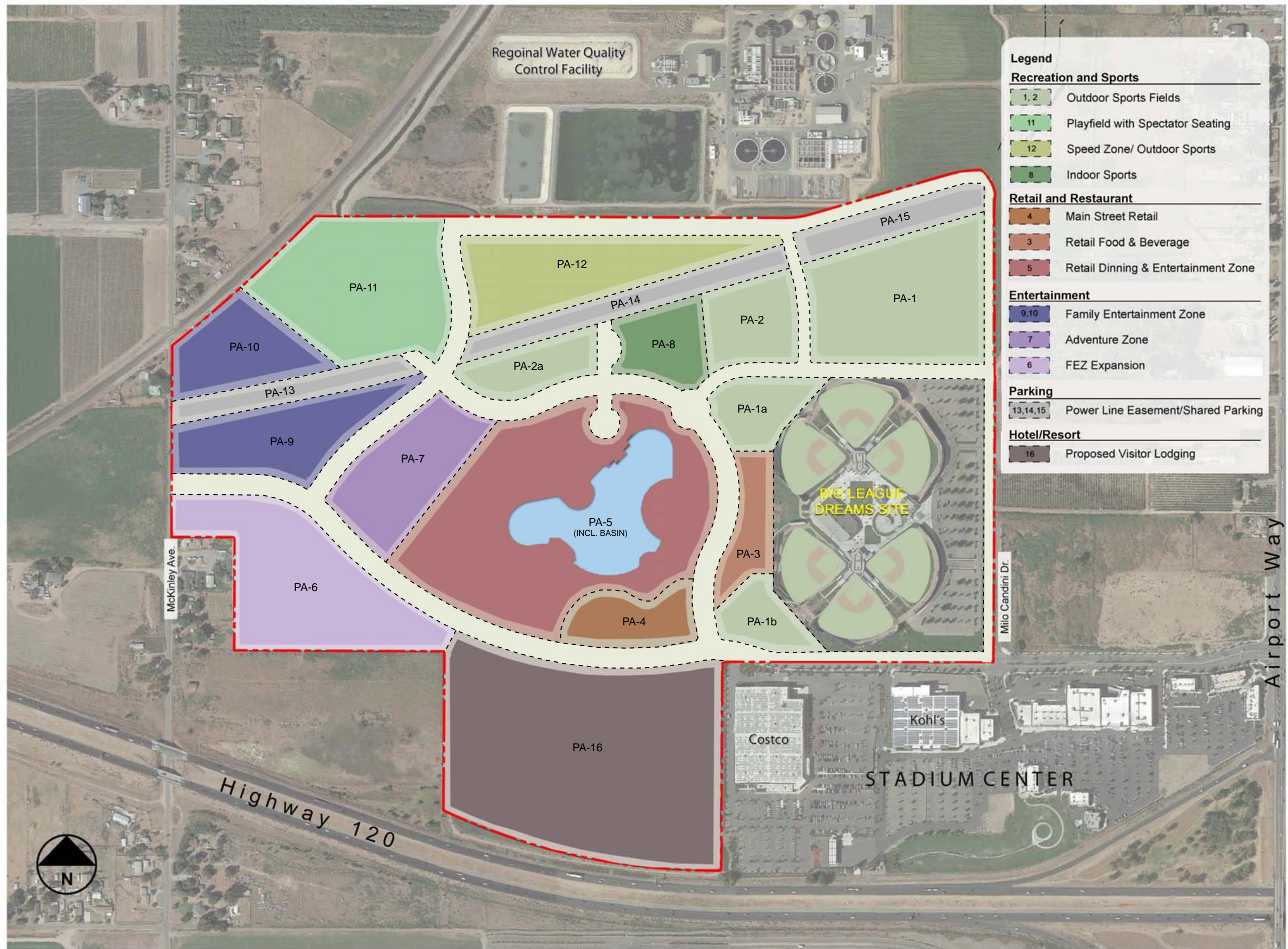
It is to be noted that Planning Areas 1-15 and Planning Area 16 have distinct design concepts that are defined independently of each other through the Master Plan. Planning Areas 1-15 are to be developed with an ‘Early California’ architectural (Section 2.4) and landscape (Section 5.1) theme. Planning Area 16 is a ‘Natural Rustic’ architectural (Section 2.5) and landscape (Section 5.1) theme. These two distinct themes work together to create a dynamic Master Plan with integrated uses and an integrated theme of Early California and Natural Rustic with Daniels St. creating the transition between the two themes.

The Planning Areas serve as the basis for all of the land use and development requirements contained in the FEZ Master Plan. Table 2.0.1 provides the Permitted, Conditionally Permitted and Not Permitted Use for each Planning Area. The uses shown as Permitted (P) are those uses which are deemed acceptable anywhere within that Planning Area. The Permitted uses are the land uses that, when developed in accordance with the FEZ Master Plan, will not require special requirements in order to address land use compatibility.

The uses shown as Conditionally Permitted (C) require special consideration so they may be properly located and/or conditionally operated with respect to their effects on surrounding properties/land uses. Conditionally Permitted uses may require special conditions to make them acceptable at particular locations. Implementation of the Conditionally Permitted (C) uses is described in Section 6, *Administration and Implementation* of this Master Plan, and Title 17 Zoning, Article I Zoning Code Establishment, Administration, and Entitlements, Section 17.10.130 Conditional Use Permit, of the Manteca Municipal Code (MMC).

To maintain the vision and purpose of the FEZ and to minimize incompatible characteristics, the list of Not Permitted (N) land uses per planning area are shown in Table 2.0.1.

Additionally, to help the FEZ develop with a cohesive design and appearance, this Master Plan provides development requirements and recommendations for the various Planning Areas with the FEZ. The development requirements for PA-1 through PA-15 can be found in Section 2.4, and separate development requirements for PA-16 can be found in Section 2.5.



**Table 2.0.1 – Permitted and Conditionally Permitted Uses**

Table 2.0.1 Permitted and Conditionally Permitted Uses																
FAMILY ENTERTAINMENT ZONE PLANNING AREAS																
USES (see Appendix A)	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16
1 Local public service and utilities	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
2 Temporary buildings and uses (1)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
3 Accessory uses (when located on the same parcel as the principal use and the principal use is conforming)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
4 Agricultural Tourism (2)	P	P	P	P	P	P	P	P	P	P	P	P	N	N	N	N
5 Community Garden	N	N	N	N	N	P	P	P	P	P	P	P	P	P	P	N
6 Equestrian Facility	N	N	N	N	N	N	C	N	N	N	N	C	N	N	N	N
7 Kennel, Dog Training Facility	N	N	N	N	N	N	C	N	N	N	N	C	N	N	N	N
8 Hotel and Lodge including recreational facilities & conventional center	N	N	N	N	N	N	P	N	N	N	N	N	N	N	N	P
9 Assembly Uses	N	N	P	P	P	N	P	P	N	N	P	N	N	N	N	P
10 Indoor Amusement/Entertainment Facility	N	N	P	P	P	P	P	P	P	P	P	N	N	N	N	P
11 Indoor Fitness and Sports Facility	N	N	P	P	P	P	P	P	P	P	P	N	N	N	N	P
12 Outdoor Commercial Recreation	P	P	P	P	P	P	P	N	P	P	P	P	N	N	N	P
13 Outdoor Community Recreation	P	P	P	P	P	P	P	N	P	P	P	P	N	N	N	P
14 Park and Public Plaza	P	P	P	P	P	P	P	P	P	P	P	P	N	N	N	P
15 Recreational Vehicle Park	N	N	N	N	N	N	P	N	N	C	N	C	N	N	N	N
16 Resource-Related Recreation	P	P	P	P	P	P	P	N	P	P	P	P	N	N	N	N
17 School, Specialized Education and Training/Studio	N	N	P	P	P	P	P	P	P	P	N	N	N	N	N	N
18 Theater/Auditorium	N	N	N	N	P	P	P	P	P	P	N	C	N	N	N	P
19 Parking Facility (3)	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
20 Public Safety Facility	N	N	P	P	P	P	N	N	P	P	P	N	N	N	N	P
21 Child Day Care Center	N	N	P	P	P	P	N	N	N	N	N	N	N	N	N	P
22 Neighborhood Market	N	N	P	P	P	P	N	N	N	N	N	N	N	N	N	N
23 Office, Business and Professional	N	N	P	P	P	P	N	N	N	N	N	N	N	N	N	N
24 Personal Services	N	N	P	P	P	P	N	N	N	N	N	N	N	N	N	P
25 Restaurants, Cafes, Eating & Drinking Establishments	N	N	P	P	P	P	P	P	P	P	N	N	N	N	N	P
26 Drive-In & Drive-Through Use	N	N	C	C	C	C	C	C	C	C	N	N	N	N	N	N
27 Bar/Nightclub	N	N	P	P	P	P	N	N	N	N	N	N	N	N	N	P
28 Retail, General	N	N	P	P	P	P	P	P	P	P	N	N	N	N	N	P
29 Equipment Sales and Rental	N	N	C	C	C	C	C	C	C	C	N	N	N	N	N	N
30 Educational, cultural, institutional, and recreational uses serving the greater community	N	N	P	P	P	P	N	P	P	P	N	N	N	N	N	P
31 Auto & Vehicle Rental (4)	N	N	P	P	P	P	N	N	N	N	N	N	N	N	N	P
32 Residential	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N	N
33 Broadcasting and Recording Studio	N	N	P	P	P	P	P	P	P	P	N	N	N	N	N	P
34 Wireless Telecommunication Facility- Major	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C	C
34 Wireless Telecommunication Facility- Minor	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P	P
35 Man-made Lake and recreational facility	N	N	P	P	P	P	N	N	P	P	N	P	N	N	N	N

P = Permitted  
 C = Conditionally Permitted  
 N = Not Permitted

Notes:

1. Temporary uses require a Temporary Use Permit per Manteca Zoning Ordinance.
2. See also following page for continued operation of Legal Non-conforming agricultural uses.
3. Parking Structures may be restricted in PA-13, PA-14 and PA-15.
4. Only if associated with specific recreational uses that take place as part of FEZ such as bicycles, paddle boats, etc.
5. Any outdoor storage that is integral to the operation of a permitted or conditionally permitted use shall be screened from view from public street. Refer to Manteca Municipal Code Chapter 17.80.
6. Number to left of uses corresponds to definitions in Appendix A.

For definitions of allowed uses see Appendix A - *Allowed Use Definitions*

**Family Entertainment Zone**

## Legal Non-Conforming Uses

There are legal non-conforming agricultural uses existing and operating within the Master Plan area. Legal non-conforming uses are existing uses in place at the date the Master Plan is adopted that are not Permitted or Conditionally Permitted by the Master Plan. Non-conforming agricultural uses existing and operating within the Master Plan at the date of the adoption of the FEZ Master Plan shall be allowed to continue (agricultural operations) until development in conformance with the Master Plan occurs. Agricultural crops and operations may change from one to another, such as changing from one crop/agricultural species to another, and properties that are temporarily left fallow can be put back into production without the property losing its non-conforming status. Construction of agricultural-related facilities (such as structures, access roads, wells, etc.) that support the continued agricultural use of the land may occur per MMC requirements until the land is developed in accordance with this Master Plan.

### The following use shall be expressly PROHIBITED in the FEZ:

Adult-Oriented Business	Agricultural Products Processing
Airport	Auto and Vehicle Rental
Auto and Vehicle Storage	Auto Parts Sales
Auto Vehicle Dismantling	Building Materials Store/Yard
Car Washing and Detailing	Crop Production
Dwelling, Single and Two-Family	Residential
Freight Yard/Truck Terminal	Fuel Storage and Distribution
Fueling Station	Group Residential
Manufacturing, Major or Minor	Mobile Home Park
Recycling Facility-Collection	Recycling Facility- Processing
Recycling Facility-Scrap and Dismantling	Storage, Personal Storage Facility
Storage, Warehouse	Storage, Yard
Vehicle Services- Major or Minor	Wholesaling and Distribution

## 2.1 Development Requirements

The FEZ Master Plan is an overlay zone and therefore provides its own zoning regulations and requirements. This section provides the development requirements and recommendations for the individual FEZ planning areas. The development requirements and recommendations are intended to work in conjunction with the City of Manteca's Zoning Ordinance. In some cases the FEZ Master Plan requirements may conflict with or may be more or less restrictive than the City's Zoning Ordinance. In these circumstances, the FEZ Master Plan design requirements shall take precedence. Any regulations not contained or illustrated in the FEZ Master Plan are deferred to the regulations contained in the City's Zoning Ordinance. The following 2.1.1 tables for each of the four development plan areas provides the FEZ development requirements. See also Section 2.2 for the fifth plan area – *Parking*.

The restrictions associated with site planning, structure placement (clearances), landscape, etc. within this master plan area shall meet the requirements of the utility easements that traverse the Master Plan Area (existing and proposed) as described in Section 4 of this Master Plan. In all cases, development shall adhere to the requirements of this Master Plan and the utility easement restrictions.

**Table 2.1.1 FEZ Development Requirements**

<b>HOTEL/RESORT</b>	<b>PA-16</b>
<b>Building Coverage</b>	
Floor Area Ratio (FAR) maximum	45%  If a parking structure is provided for PA-16 the allowable FAR may be increased up to an additional 10% with conditional approval upon site plan review. Parking structure is not to be calculated as part of the FAR.
<b>Lot Configuration</b>	
Lot area	There shall be no minimum lot area requirements.
<b>Building Setbacks</b>	
Street setback	Any building or structure shall have a minimum street setback of twenty-five (25') feet.
Interior / Side Yard Setback (non-street)	There shall be no interior side yard requirements.
Rear Yard Setback	There shall be no rear yard requirements.
Distance Between Buildings (for buildings on same parcel)	Shall comply with required building code, otherwise there shall be no distance between building requirement.
<b>Building Massing</b>	
Building Height	The maximum height of any occupied structure shall be eighty-five (85') feet. The vertical distance from grade plane to the average height of the highest roof surface shall not exceed 85'. There shall be no height requirements for non-occupied structures or for design and architectural elements provided they meet Fire Code requirements and CBC Table 503.

<b>RETAIL AND RESTAURANT</b>		<b>PA-3, PA-4, PA-5</b>
<b>Building Coverage</b>		
Floor Area Ratio (FAR) maximum	PA-3: 50%	PA-4: 35%
	PA-5: 35%	
	Parking structure is not to be calculated as part of the FAR.	
<b>Lot Configuration</b>		
Lot area	There shall be no minimum lot area requirements.	
<b>Building Setbacks</b>		
Street setback	Any building or structure shall have a minimum street setback of ten (10') feet.	
Interior / Side Yard Setback (non-street)	There shall be no interior side yard requirements.	
Rear Yard Setback	There shall be no rear yard requirements.	
Distance Between Buildings (for buildings on same parcel)	Shall comply with required building code, otherwise there shall be no distance between building requirement.	
<b>Building Massing</b>		
Building Height	The maximum height of any occupied structure shall be thirty-five (35') feet. There shall be no height requirements for non-occupied structures, or for design and architectural elements provided they meet Fire Code requirements and CBC Table 503.	

<b>RECREATION AND SPORTS</b>		<b>PA-1, PA-2, PA-11</b>
<b>Building Coverage</b>		
Floor Area Ratio (FAR) maximum	25%	Parking structure is not to be calculated as part of the FAR.
<b>Lot Configuration</b>		
Lot area	There shall be no minimum lot area requirements.	
<b>Building Setbacks</b>		
Street setback	Any active sports field, building or structure shall have a minimum street setback of ten (10') feet.	
Interior / Side Yard Setback (non-street)	There shall be no interior side yard requirements.	
Rear Yard Setback	There shall be no rear yard requirements.	
Distance Between Buildings (for buildings on same parcel)	Shall comply with required building code, otherwise there shall be no distance between building requirement.	
<b>Building Massing</b>		
Building Height	The maximum height of any occupied structure shall be fifty-five (55') feet. There shall be no height requirements for non-occupied structures or for design and architectural elements provided they meet Fire Code requirements and CBC Table 503.	

<b>ENTERTAINMENT</b>		<b>PA-6, PA-7, PA-8, PA-9, PA-10, PA-12</b>
<b>Building Coverage</b>		
Floor Area Ratio (FAR) maximum	50%	Parking structure is not to be calculated as part of the FAR.
<b>Lot Configuration</b>		
Lot area	There shall be no minimum lot area requirements.	
<b>Building Setbacks</b>		
Street setback	Any active sports field, building or structure shall have a minimum street setback of ten (10') feet.	
Interior / Side Yard Setback (non-street)	There shall be no interior side yard requirements.	
Rear Yard Setback	There shall be no rear yard requirements.	
Distance Between Buildings (for buildings on same parcel)	Shall comply with required building code, otherwise there shall be no distance between building requirement.	
<b>Building Massing</b>		
Building Height	The maximum height of any occupied structure shall be fifty-five (55') feet. There shall be no height requirements for non-occupied structures or for design and architectural elements provided they meet Fire Code requirements and CBC Table 503.	



## 2.2 Off-Street Parking

The Manteca Municipal Code Parking requirements, Title 17 Chapter 17.52, shall apply to the FEZ Master Plan except as modified herein. The design of off-street parking facilities including drive aisles and parking stall dimensions shall comply with Manteca Municipal Code. Section 3 of this document provides off-street parking concepts and layouts. Off-street parking shall be provided for the primary use of each Planning Area. Table 2.2.1 shows the minimum off-street parking requirements for uses anticipated to locate in the FEZ. The Manteca Municipal Code shall be used for any use not specifically listed.

**Table 2.2.1 Required Off-Street Parking**

Use (PA-13, PA-14, PA-15)	Required Parking Spaces
Assembly Uses	1 space per three (3) fixed seats, or if the assembly does not have fixed seats, 1 space per 50 square feet of primary assembly area
Indoor Amusement / Entertainment Facility	1 space per 250 square feet of gross floor area
Indoor Fitness and Sports Facility	1 space per 250 square feet of gross floor area
Outdoor Commercial Recreation	1 space per 500 square feet of active recreation area
Personal Services	1 space per 200 square feet of gross floor area
Resort Facility - including Hotel, Conference Center, Restaurants/Shops and Water Park	2.1 spaces per guest room
Restaurants, Cafes, Bars, and Other Eating and Drinking Establishments	7 spaces per 1000 square feet of gross floor area
Retail	1 space per 250 square feet of gross floor area
Sports Fields	
- Baseball / Softball	32 spaces per field
- Football	64 spaces per field
- Soccer	32 spaces per field
Sports Stadium with fixed seating	1 space per 96" bench seating (assume 24" seat)
Visitor Center	1 space per 50 square feet

### 2.2.1 Landscape Requirements for Off-Street Parking Areas

Off-street parking areas will require landscaping per the standards established in the FEZ Master Plan Section 3.4 and 3.5 and by the Manteca Municipal Code (Section 17.48.050.K).

## 2.3 Planning Areas and Summary

The Planning Area Map is shown in Figure 2.3.1 – *Planning Area Map*. It is envisioned that the FEZ Planning Areas will develop within five broader land use categories of the FEZ to provide for the co-location of similar land uses and also ensure a good mix of complimentary uses within individual Planning Areas (PAs 1-16) and the overall FEZ Master Plan. The following provides an overview of potential land uses by Planning Area currently being considered. For the complete list of Permitted and Conditionally Permitted Uses see Table 2.0.1.

### 2.3.1 Retail and Restaurants – (PA-3, PA-4, and PA-5)

- **Open-air Retail, Dining, and Entertainment Village**
  - Man-made lake / retention basin (see Section 4.3 – *Infrastructure* for a definition of the two options). If the lake option is selected, it is to be an amenity, with the potential of personal paddle craft and/or kayaks, but not a swimming facility
  - Lakeside/Basin edge boardwalk promenade with semi-pervious paving
  - Retail shops
  - Restaurants, cafes, bistros, coffee shops, micro-brewery
  - Small outdoor amphitheater
  - Outdoor entertainment / performance plaza

### 2.3.2 Entertainment – (PA-6, PA-7, PA-9, PA-10, PA-12)

- **Family Entertainment**
  - Miniature golf, family arcade games, Laser-tag, Ball Crawl, etc.
  - Rock-climbing wall, ropes course, *Flow-rider*, zip-line, hard surface skate park
- **Outdoor Sports/ Speed Zone**
  - BMX course
  - Electric motorized mini-car race course

### 2.3.3 Hotel/Resort – (PA-16)

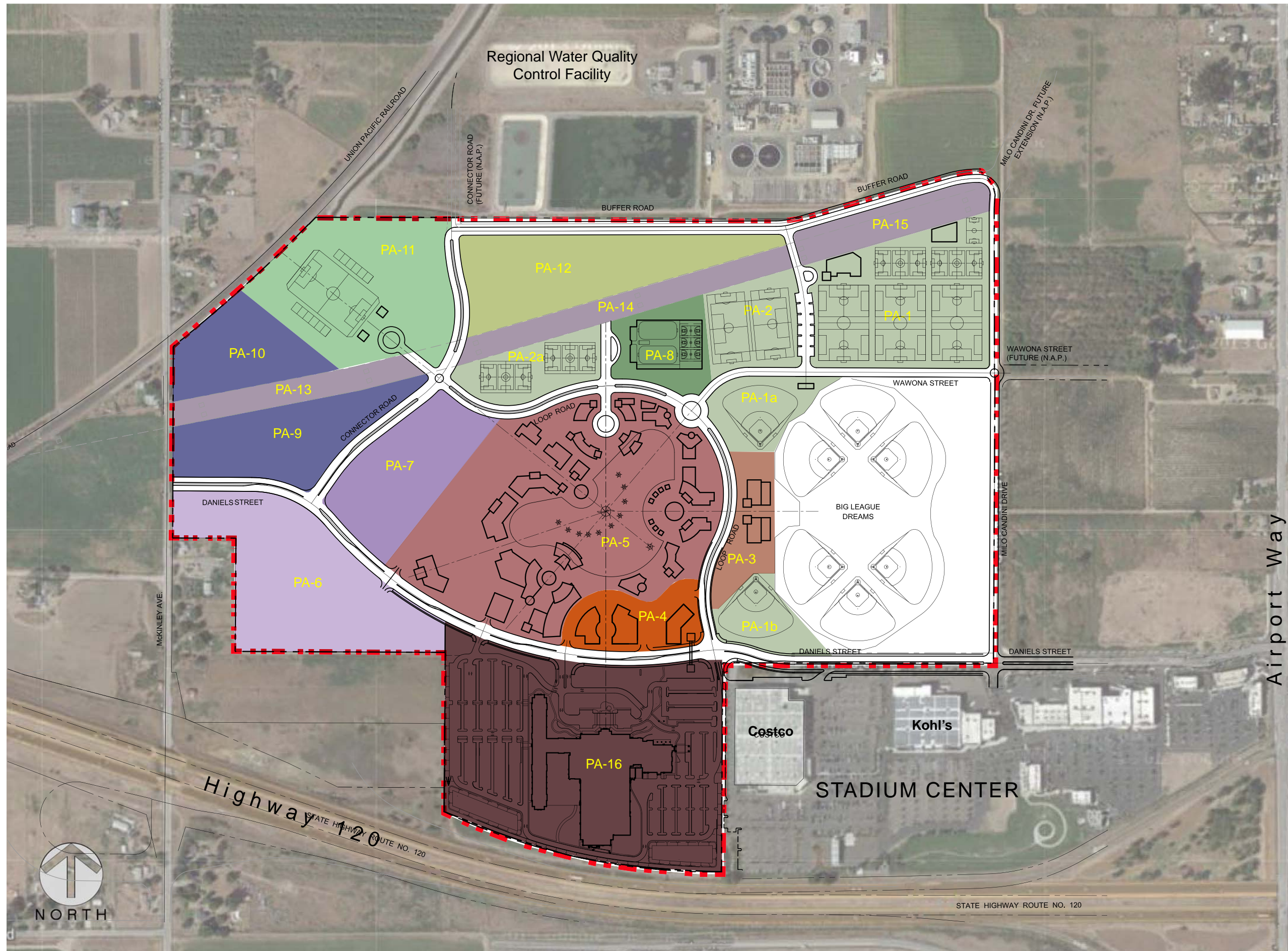
- **Resort:**
  - This parcel is envisioned to be occupied by a destination hotel oriented toward tourism and leisure, primarily for families, but also to serve business conferences.
  - Indoor and outdoor water park
  - Conference center

### 2.3.4 Recreation and Sports – (PA-1, PA-1a, PA-1b, PA-2, PA-2a, PA-8, PA-11)

- **Outdoor Regional Sports Zone**
  - Existing Big League Dreams complex
  - Additional baseball fields for Big League Dreams
  - Multi-purpose/soccer fields in varying sizes
  - \* *Note: Play fields are expected to be available for use as public open space prior to 4:30PM on weekdays.*
- **Indoor All-season Sports Center**
  - Basketball, volleyball, cheerleading, gymnastics
- **Championship Playfield**
  - International-sized multi-purpose play field with fixed stadium seating.

### 2.3.5 Parking – (PA-13, PA-14 and PA-15)

- **Parking Zones:**
  - FEZ parking areas



## **2.4 Architectural Design Requirements and Recommendations - (PA-1 through PA-15)**

Planning Areas 1-15 have a distinct design that is separate from Planning Area 16 (for Design Requirements for PA-16 see Section 2.5). The Design Requirements for PA 1-15 are covered in this section 2.4. In this Section, requirements are included as items that must be present in the design to allow for approval. There are also recommendations that are provided to further guide development to refine the overall style and character. While the recommendations are purely recommendations and not requirements (no percentage of architectural recommendations (Section 2.4.1 – 2.4.4) are required for approval), they are to be considered by the developer with the overall design process. Also, the developer shall clearly define which specific style (Monterey or Spanish Colonial per Section 2.4.3) they are pursuing with the submittal of the Site Plan Review Application to the City of Manteca.

### **2.4.1 Purpose and Intent**

The FEZ Design Requirements and Recommendations for PA-1 through PA-15 provides architectural design parameters that are intended to deliver a cohesive appearance by establishing an overall design theme for this destination family entertainment, sports, retail/restaurant, and parking facility in Manteca. Landscape design parameters are provided in Section 5 of this document.

The purpose of these design requirements is to promote aesthetic quality, and to document the selected architectural styles with enough information to permit developers and their design team to accurately present the preferred architectural style. The overall architectural theme for the FEZ is Early California. There are two complimentary architectural styles that will depict the Early California character: Monterey and Spanish Colonial. By showing examples of selected architectural styles and referencing the range of detailing within the styles, a historic context or style of architecture can be documented. This permits high quality architectural design to occur, while still considering current construction codes, and freedom to provide unique and inventive design solutions.

Section 2.4.3 provides defined examples of Monterey and Spanish Colonial styles so that the developer/designer can see specific elements that differentiate the two styles so that one can be selected and more clearly defined in the design. Section 2.4.4 provides the specific requirements and recommendations for all of the Planning Areas 1-15 that must be met for approval, inclusive of either the Monterey or the Spanish Colonial style. Additionally, Section 2.4.5 provides the requirements associated with site planning and development.

In addition to the required design elements as provided in this section, all designs shall be consistent with current codes and the design review process associated with FEZ and the City of Manteca Site Plan Application review process.

### **2.4.2 Community Vision and Architectural Design Style**

The architectural style known as *Early California* is foundation for the theme of the built environment in this development project. The style is deeply rooted in the romance of centuries-old Spanish architectural vernacular and was developed as modern California history began to unfold. The two types of styles that are generally associated with Early California are Spanish Colonial and Monterey styles (for design definitions and material distinction see Section 2.4.3).

### 2.4.3 Spanish Colonial and Monterey Styles

The following two styles are both approved for use with the required 'Early California' character for PA 1-15 (specific requirements per Section 2.4.4). Each style is described below to assist design and developers to select an appropriate style for the intended use and assist the developer in understanding the differences between them. The developer shall clearly define which specific style they are pursuing with the submittal of the Site Plan Application to the City of Manteca for Site Plan Application review and approval. The following provides descriptions and materials that are consistent with the Spanish Colonial and Monterey styles. The descriptions in this section are to be used in conjunction with the requirements of Section 2.4.4.

#### A. Spanish Colonial

Spanish Colonial was popularized as an architectural style for California due to the 1915 Panama Pacific Exposition in San Diego. The popularity of this style in the southwestern and southeastern United States was attributed to increased travel to Mediterranean areas and returning World War I military personnel enamored with the architectural style they had seen overseas.

Identifying features are low pitched, red tiled roofs, usually with little or no eave overhang. Due to indoor-outdoor lifestyles, this style typically includes multiple external doors, with principal windows defining various room volumes and more than one roofed porch or balcony. Wall surfaces are typically stucco and plan forms are usually asymmetrical. Premium examples include inner courtyards, arched openings and wrought ironwork. Heavy wooden doors and fountains also are common design features.

Like other styles popular in the southwest, architectural designs using Spanish Colonial style celebrate the indoor-outdoor relationship afforded by the mild climate. Porches, balconies and courtyards, with ample windows and doors also reinforce the relationship. Simple wall massing with multi-plane roof patterns complete this style's look.

1. Exterior Materials
  - Smooth stucco or sand finish
  - Wood balconies and rails
  - Heavy timber construction
  - Masonry or wood columns and balustrades
  - Terra cotta or natural clay roof tiles
2. Roofs
  - Shallower roof pitches
  - Simple side gable roofs
  - "Mission tile" character
  - Single-story roof edges to break up the massing of roof planes
  - False towers symbolic of mission bell towers
3. Windows
  - Usually deep set to mimic heavy adobe walls
  - Less smaller windows, usually a primary window is featured on a wall plane
  - Window proportions emphasize the vertical
  - Occasional use of wooden shutters
4. Design Features
  - Linear progression of room columns for the floor plan often resulted in L-shaped or U-shaped floor plans with an inner courtyard in the middle
  - Asymmetrical building masses
  - Roofed entry porches and second story balconies

- Exposed heavy timber rafters
  - Wrought iron, shutters and decorative tiles are design accents
5. Colors
- White
  - Earth tones
  - Beige
  - Dark brown wood accents
  - Shutters in dark earth tones
  - Wrought iron usually in black

## **B. Monterey**

The Monterey style blends Spanish Colonial architecture of California with the New England Colonial flavor of the East. This predominantly two-story construction is easily identified by its simple forms and protruding balconies. Monterey is typified by simple front-to-back roofs. The balcony almost always is expressed with strong vertical elements out of wood, often left naturally colored.

The Monterey style acknowledges the warmer climates of California with deeper recesses for doors and windows to offer shade from the afternoon sun. The second-story balcony frequently seen on the front elevation uses heavy wood beams, wood stick railing and exposed rafter tails. The front elevation is generally flat with the plane for the first floor recessed underneath the second-story balcony.

1. Exterior Materials
  - Stucco is the prevailing exterior material and is usually not textured
  - Wood is the consistent element shown on exterior structural exposed detailing
  - Brick (with weeping mortar) is also a common exterior material and can also be whitewashed
  - First and second floors frequently of different materials
2. Roofs
  - Low-pitched (4:12 typical) gable roofs (occasionally hipped)
  - Tight rakes with extended eaves
  - Flat concrete tile roofs that resemble shakes
  - Clay barrel tiles
  - Exposed rafter tails to heavy timber
  - Chimneys were often internal or else located at the gable and with little decoration on top
3. Windows
  - Windows often paired with shutters
  - Window proportions are consistently vertical
  - Occasionally arched windows with clear panes
  - Dormers not common to this style
4. Design Features
  - Front façade is typically asymmetrical in rectangular form
  - Covered, often cantilevered, second story balconies
  - Simple wood posts and heavy beams
  - Simple details
  - Exposed rafter tails with profile end cuts
  - Wooden balconies, verandas, and porches as well as paved interior courtyards
  - Intersecting wooden beams and columns often include decorative wooden trim
  - Wrought iron can be used for decorative trim

5. Colors

- Variations of white on the stucco areas
- Front doors are often left natural wood color
- Light earth tones on the wood details
- Contrasting accents on shutters

**2.4.4 General Architectural Design Requirements and Recommendations (PA-1 through PA-15)**

**A. Building Form, Massing, and Scale**

*Requirements:*

- Structures in the FEZ are generally expected to be viewable from all around, architecture shall be “four-sided architecture” that offers quality elevations from all sides and angles that are viewable by the public. Architectural detailing shall be provided on all sides of the building that are predominantly in view of the public.
- Storefronts shall be a minimum of ten feet tall, as measured from the adjacent sidewalk or patio.
- Buildings shall have asymmetrical massing, and a mix of building heights to provide visual interest.
- Tower elements or other prominent building features shall be used to accentuate key elements, such as building entries, pedestrian nodes, plazas or courtyards.
- Building articulation shall be used to create strong shadows and contrasts of form to break up the overall building mass.
- Vertical elements shall be used to break up the scale of predominantly horizontal masses and horizontal elements.
- Buildings shall articulate elements such as roof overhangs, canopies, and parapets to establish hierarchy and add interest to building silhouettes.
- Buildings shall establish a clear pattern, and provide articulation and rhythm of windows, doors, and balcony openings, utilizing a variety of devices such as canopies, awnings, or railings.
- Corner articulation shall create interesting pedestrian scale articulation at important nodes.



*Conceptual Architectural Image to show form/style*

Recommendations:

- Stepping back of any second story elements is recommended to enhance the building's visual appearance, and to provide the opportunity for upper level terraces.
- Offset wall planes should be used, where appropriate, as an integral part of the building design, to provide visual articulation, to accentuate building entries, and to form pedestrian nodes.



*Conceptual Architectural Image to show form/style*

**B. Roof Requirements**

- Roof masses shall be softened by lower roof forms and articulation of roof slopes, ridges, eaves, gable ends, etc.
- Roof lines shall be varied from building to building in terms of framing pitches, massing, color, and roof selection.

**C. Wall Requirements**

- The selected style (Spanish Colonial or Monterey) shall be reinforced with contextual materials. See Section 2.4.3 for description of materials for each style.

**D. Material Requirements**

Elevation design will include the following:

1. Roof
  - Concrete shake or slate-look
  - Premium grade shingle style composition roofs with appropriate thickness and premium quality
  - Clay or concrete S-tile or barrel tile
2. Exterior Walls
  - Wood and shingle siding
  - Smooth finish stucco
  - Stone, brick and wood siding as wall materials or accent
3. Doors
  - Stained or painted wood



- Metal that resembles wood
  - Authentic styles to structure
4. Windows
    - Vinyl or metal
  5. Accent Materials
    - Masonry Trim: Pre-cast stone, natural stone, smooth cut river rock and brick used as a base and/or bearing appearance
    - Wood Trim: Stained or painted at walls, chimneys, gates, doors, windows, eaves, balconies, outlookers and pickets. Significant in scale and appropriate to building character
    - Ironwork: Ornamental metalwork at gates, window grilles, balcony rails and fencing. Significant in scale and shape while detailed authentically



*Conceptual Architecture to show form/style*



*Conceptual Architecture to show form/style*

## **E. Color Requirements**

1. Roof and Materials
  - Natural colors to emulate the appropriate historic-authentic style (i.e., slate, wood shake, clay, tile)
2. Walls
  - Lighter values acceptable for styles using the contrast of darker colors for accent and trim areas
  - Lighter pastels in yellows, blues and pinks for selected styles
  - Accent colors: Deep hues of earth tones, siennas, and greens
3. Other
  - Traditional and historic colors that complement the palette of the architecture



*Conceptual Architecture to show form/style*

#### **2.4.5 Site and Equipment Screening Requirements**

The following are the requirements associated with accessory site facilities, equipment, utilities, and lighting.

##### **A. Trash Enclosures**

- Refuse Collection areas shall be located in areas that are convenient for access for disposal and collection, but in areas that are less visible to the general public. Refuse enclosures that must be located in more visible areas shall be screened from view by the use of walls, fences and landscape.
- Trash enclosures shall be constructed of concrete masonry units finished to be compatible with the surrounding building architecture and character.
- All trash enclosures shall have opaque gates designed to be consistent with the adjacent building style and colors.
- Trash enclosure shall have lighted access to meet federal accessibility standards.

##### **B. Service Areas**

- Site design shall specifically address the needs of pick-up, delivery, and service vehicles related to commercial/retail uses.
- Service entrances and vehicles shall be sited such that they do not interfere with customer access and they shall be screened with walls, fences, and/or landscape so as not to be visible from adjacent street and minimally visible from parking and pedestrian (customer) areas.
- Appropriate on-site service vehicle parking/turnouts shall be provided in an efficient, non-obtrusive location appropriate to the scale and needs of the project.
- Service areas intended to allow for loading and unloading of delivery vehicles shall be appropriately sized so that the anticipated delivery vehicle does not encroach upon travel ways and is predominantly screened from views.

##### **C. Mechanical Equipment**

- Roof mounted mechanical equipment shall be screened by parapet or integral architectural elements.
- Ground mounted mechanical equipment shall be screened from view by landscape planting or by walls or fences compatible with the building architecture and located away from pedestrian paths and project amenities.

##### **D. Natural Gas Meters, Electrical meters, Site Utilities and Equipment:**

- All utility meters and equipment shall be screened from view by landscape planting or with walls or fences compatible with the building architecture.

##### **E. Exterior Architectural Lighting**

- The style of exterior lighting fixtures shall be consistent with the architectural style of surrounding buildings.
- The extent of lighting fixtures and the level of exterior architectural lighting shall comply with city ordinances and codes.
- Energy conservation shall be emphasized when designing the lighting systems.

#### **2.4.6 Site Planning Recommendations (PA-1 through PA-15)**

The following recommendations shall be taken into consideration with the design of all projects within Planning Areas 1-15. The developer is required to incorporate at least half (50%) of the following applicable recommendations into the design of specific projects in order to meet the requirements of the FEZ Master Plan. Each individual bulleted item in A-E below signifies one recommendation (if there are 10 bulleted items, at least 5 must be incorporated). The appropriateness of each of the following recommendations for each individual project (development) shall be determined by the Community Development Director of the City of Manteca. For additional Site Planning of the parking lot and driveway areas see Section 3.4 and 3.5.

Tenant spaces will need to evolve over time to meet the changing needs of the market. These recommendations are intended to allow flexibility while ensuring that the value of the property will be enhanced through careful design control.

#### **A. Entry Treatment**

- For safety, accessibility and visual interest, the ground floor should be articulated with entries, windows and enhanced materials.
- Main focal entry statements, through the use of towers, entry canopies or higher roof elements are encouraged to add a sense of orientation with relation to building massing.

#### **B. Site Planning Parameters**

- Site plans of individual development parcels should provide a clearly understandable hierarchy of spaces with clearly defined vehicular circulation in parking and clearly defined and direct pedestrian circulation to link parking areas to the building; and from the building to pedestrian-oriented open space.

#### **C. Building Orientation**

- Buildings should be oriented to emphasize public spaces; with entryways that are clearly visible from key locations such as the street or pedestrian-oriented open space.
- Consideration should be given to building footprint configuration, access from parking lots, visibility, store security, service truck loading, and commercial viability.

#### **D. Pedestrian Orientation of Buildings**

- Site planning of the commercial uses should be designed to allow for the safe and convenient movement of vehicles, pedestrians, and bicycles with pedestrian taking the priority.
- Buildings should be located and oriented to define edges at streets and plazas to create a clear sense of place.
- Pedestrian connections should be provided to each building entrance with a direct connection of no less than 20' to street sidewalk and/or pedestrian-oriented open space plazas. Additional development requirements and recommendations regarding pedestrian circulation are covered in Section 5.3.
- Shaded courtyards or plazas should be incorporated into building layout and design to provide a comfortable pedestrian space. Such courtyards are to feature elements that enhance the pedestrian experience such as fountains, trellises, umbrellas, shade trees, comfortable tables, chairs and benches, kiosks, etc.

#### **E. Common Open Space**

To make the pedestrian experience an enjoyable one, buildings should be designed to include certain architectural features, such as a canopy, archway, place towers, or spires at prominent locations such as at the entry. An architectural expression that provides orientation, such as recessed entries, prominent roof lines or changes in hardscape and/or landscape elements, and an intimate scale should be provided at ground level, to humanize the building scale for pedestrians.

- **Patio Dining** – *All of the following are to be included to achieve this (Patio Dining) requirement (see 2.4.5):*

Outdoor dining is encouraged to enliven the public space.

Outdoor dining areas may be incorporated within plazas, building frontages, or street frontages.

Patio areas do not necessarily require a railing or enclosure. When provided, however, railings are to be compatible with the architecture of adjacent buildings.

Integrate landscaping and/or structures to provide shading. Shade structures/devices may be freestanding or integrated with adjacent structures.

## 2.5 Architectural Design Requirements and Recommendations for PA-16

Planning Area 16 has a distinct design that is separate from Planning Areas 1-15 (for Design Requirements for PAs 1-15 see Section 2.4). The Design Requirements for PA-16 are covered in this section 2.5. In this Section, requirements are included as items that must be present in the design to allow for approval. There are also recommendations that are provided to further guide development to refine the overall style and character of the site design.

### 2.5.1 Community Vision and Architectural Design Style for PA-16

The architectural style known as Natural Rustic is to be the foundational influence for the theme of the built environment for PA-16. The facility structure(s) shall be a marriage of organic yet simple-lined superstructure and classic mountain retreat detailing. Iconic log exterior details shall emulate the vernacular of a historic National Park lodge, while adjacent towers and other site buildings are to settle in as simple massing, while utilizing similar materials and forms to maintain a cohesive design approach.

The overall massing of the hotel portion of the complex is to be influenced by a more contemporary, simple, articulated façade. The points of entry shall incorporate details influenced by structures such as the Grand Canyon Lodge that are cohesive with the main lobby and conference center entry.



Grand Canyon Lodge (entrance)  
Grand Canyon National Park  
Photo by L.S. Harrison, NPS 6/85  
*Conceptual Architecture to show historic relevance*

### 2.5.2 General Architectural Design Requirements and Recommendations (PA-16)

#### A. Building Form, Massing, and Scale

The design theme and character for PA-16 is unique to the remainder of the FEZ to set it apart as an independent facility within the overall FEZ framework. While the Natural Rustic theme of the hotel and conference center is unique it blends well with the overall Early California architectural theme of the rest of the FEZ.

True to the essence of Natural Rustic, the canopy and vestibule structures of the hotel lobby and conference center shall project monumental scale elements with enhanced detail against the backdrop of natural architectural surface tones which are applied to the hotel tower and water park façades, creating a consistent backdrop. Consistent architectural features and embellishments shall be carried throughout the entire building(s) and site amenities. The hotel, conference center, and water park structure is intended to be a large structure, or grouping of structures.

#### Requirements:

- The building massing is to be articulated with pedestrian and 'human' scale materials and forms at the building entries, but designed at a large, monumental scale – primarily at the main lobby entry (portico) and the conference center entry, but also at the hotel tower entries.

## **Family Entertainment Zone**

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- The building masses shall be simple, asymmetrical, rectangular forms with irregular massing.
- There shall be either steeply pitched or mansard roofs for the hotel.
- Sloped roofs to utilize timber and log structural and decorative elements sized appropriately for the size of the roof mass shall be used for building entries.
- Entry portals shall be encased in tumbled stone pilasters from which timbers emerge.
- Linear portions of the hotel (exterior wall plane) shall offer relief by stepping back or forward from the main line of the building envelope. The offset dimension will be adequate to provide relief and articulation based on the scale of the building. Alternate means of meeting the architectural step-back or projection or enhancement of step-back requirement may be met through the use of materials or other architectural features if deemed acceptable by the Community Development Director.

- Any side of the building that exceeds 160' in length shall have recesses or pop-outs of adequate depth to provide relief and articulation sufficient to the scale of the building, with no single face of building longer than 80' without a step in the building and/or material/finish difference (see alternate means allowance described above).
- There shall be articulation in the roofline and/or extension of the eaves to correspond to the recesses in the face of the building.
- Sunshades may also be used to provide articulation along the face of the building.



*Conceptual Architecture to show form/style*



- Secondary entries such as at the hotel and conference center from the parking lots shall utilize materials similar to the main entries and to a scale that is appropriate to the height and scale of the overall building.
- Color shall also be used to further define the articulation of the building recess – vertical and horizontal color transition.
- Tall buildings (6 stories or taller) along the water park and guest unit portions of the resort, the rhythmic placement of sun shade structures over windows and/or balconies shall be used to create shadow, articulation, and scale in addition to the recesses in the building.



*The example photos above and to the left shows the concepts of sunshades being placed in conjunction with architectural forms and window pattern to provide articulation and shadow treatment on the building.*

**Recommendations:**

- An iconic sculptural element that evokes the character and theme of the resort may also be included at or near the entry portals.
- Steeply pitched, heavily timbered porte-cochere and vestibule roof structures should be used to reinforce the theme.

**B. Building Material Requirements**

Durable, high quality materials and finishes shall be the basis of design for PA-16. These include; but are not limited to the following materials listed in B through D. Other materials may be acceptable if they enhance and/or compliment the design requirements. The following is a sampling of acceptable materials:

- Stucco style Exterior Insulation Finish System (EIFS)
- Pre-cast Concrete
- Rough Hewn timbers
- Manufactured Stone
- Painted Concrete (back areas)
- Standing Metal Screen Panels

**C. Roof Form and Material Requirements**

- Primarily flat, with 6:12 slopes at one and two story building elements and key building entries. 4:12 at wider building masses to maintain balance between building mass and roof mass. 10:12 - 12:12 at shorter building mass projections.
- Standing Seam Metal Panels, Asphaltic shingles
- Skylights, Dark Bronze finish
- Rakes - Typically 24" with 36" near peaks of gabled roofs. Wider as required at special framing conditions. Wide rustic appearing fascias.
- Eaves - Typically 24". Wider as required at special framing conditions. Wide rustic appearing fascias.

**D. Colors and Finishes Requirements**

- Walls - EIFS, manufactured stone veneer, and manufactured or real logs used in varying patterns to accentuate key building elements.

**Family Entertainment Zone**

- Elevations - Timber and log structural and decorative elements utilized at one and two story building elements.
- Entry Doors - Entry doors to be wood with full vision lites and trimmed to provide a heavy hand built appearance to the door construction.
- Earth tone blend of caramel, grey-green, adobe and dark red shall applied at specific building masses to further accentuate their vertical nature.
- Stone details of mixed river stone tones
- Rough hewn and log members medium tone clear stain
- Window, door and storefront trim - dark bronze tall and narrow proportion at one and two story building elements with square or rectangular punched openings at tall building elements.
- Trim - Sills utilized at stone finishes and manufactured or real logs at log finishes. Minimal trim utilized at EIFS walls.
- Metal sunshades installed at tall (6 stories or taller) building masses in a random pattern to provide additional articulation.
- Tapered stone piers at ends of tall (6 stories or taller) building masses. Synthetic carved stone columns at primary building entries.

#### **E. Site and Mechanical Equipment Requirements**

The following are the requirements associated with accessory site facilities, equipment, utilities, and lighting.

##### **Accessory Elements and Screening**

- Entries - Articulated through the use of log or timbered porticos to accentuate the sense of arrival. Portico to be sized according to its function.
- Accessory structures shall be designed to look like a continuation of extension of the nearby structures. They shall have architectural detailing, materials, color and landscaping similar to the primary structure.
- Accessory structures shall be screened from public view by berms, landscaping, fences or ornamental screening.
- Loading zones shall be partially roofed to dampen sound, and screened from pedestrian view of the area.

##### **Trash Enclosures**

- Refuse Collection areas shall be located in areas that are convenient for access for disposal and collection, but in areas that are less visible to the general public and guests of the facility. Refuse enclosures that must be located in more visible areas shall be screened from view by the use of walls, fences and landscape. These areas are to be screened from public and guest room view.
- Trash enclosures shall be constructed of concrete masonry units finished similar to buildings in the development. Trash enclosures and other service elements shall be screened from view through the use of solid walls or fences compatible with the building architecture.
- All trash enclosures shall have opaque gates designed to be consistent with the development. The color of the gate shall match the color of the adjacent trash enclosure wall or be of a compatible accent color.
- Trash enclosure shall have lighted access to meet federal accessibility standards
- Trash enclosures shall be located such that collection vehicles have thorough access within ten feet of the enclosure.

##### **Mechanical Equipment**

- Roof mounted mechanical equipment shall be screened by parapet or integral architectural elements
- Equipment within standing seam metal roofing shall be finished to match adjacent color



- Ground mounted mechanical equipment shall be screened from view by walls or fences compatible with the building architecture and located away from pedestrian paths and project amenities

**Natural Gas Meters, Electrical meters, Site Utilities and Equipment:**

- All utility meters and equipment shall be screened from view

**Exterior Architectural Lighting**

- The style of exterior lighting fixtures shall be consistent with the architectural style of surrounding buildings
- The extent of lighting fixtures and the level of exterior architectural lighting shall comply with city ordinances and codes
- Energy conservation shall be emphasized when designing the lighting systems.
- Care shall be taken to specify lighting that does not spill into existing, or potential future residential properties adjacent to the site

**2.5.3 Site Planning Recommendations for PA-16**

The following recommendations shall be taken into consideration with the design of all projects within Planning Area 16. The developer is required to incorporate at least half (50%) of the following applicable recommendations into the design of PA-16 in order to meet the requirements of the FEZ Master Plan. Each individual bulleted item in A-C below signifies one recommendation (if there are 7 bulleted items, at least 4 must be incorporated). The appropriateness of each of the following guidelines shall be determined by the Community Development Director of the City of Manteca. For additional Site Planning of the parking lot and driveway areas see Section 3.4 and 3.5.

**A. Entry Treatments**

- For safety, accessibility and visual interest, the ground floor should be articulated with entries, windows, and other types of articulation.
- Main focal entry statements, through the use of entry canopies should be incorporated to add a sense of orientation for the motorist and pedestrian with relation to building massing.

**B. Building Orientation**

- Buildings should be oriented to emphasize public spaces, with entryways that are clearly visible from key locations.
- Consideration should be given to building footprint configuration to provide clear and defined access from street and parking lots, visibility from the street and hierarchy of spaces, security, service truck loading and screening, and commercial viability.

**C. Pedestrian Orientation and Circulation**

- Site Planning should be designed to allow for the safe and convenient movement of vehicles, pedestrians, and bicycles with pedestrian taking the priority.
- Pedestrian connections should provide a network of on-site walkways that are a minimum of five feet wide, to and from building entrances.
- Pedestrian connections should be provided to each building entrance. Additional development requirements and recommendations regarding pedestrian circulation are covered in Section 3.

The main access from the FEZ to the front door of the facility (lobby) is to line up on axis with the center of the lake/basin. Walkway is not required to be a straight line connection along the axis, but there is to be a strong visual connection from the front door to the center of the lake/basin.

## 2.6 Sustainable Development and Environmental Considerations

- The Design shall incorporate the policies delineated in the City of Manteca Final Draft Climate Action Plan. All proposed development shall be subject to adherence to the current and adopted Climate Action Plan at the time of plan submittal.
- Whenever possible, building articulation and form should be expressive of, and driven by environmental and site conditions, such as solar orientation, views, noise, prevailing winds, and climate.
- Project designs that employ features such as courtyards, plazas, and patios are encouraged.
- Shade elements should be incorporated to prevent excess summer sun from entering buildings.
- To provide shade in the summer and allow winter sun to penetrate, planting of deciduous canopy trees is encouraged.
- Use of solar collectors is encouraged and may be used as parking stall shade covers (car ports) in conjunction with parking lot shade trees to meet minimum shade coverage per MMC (Section 5 – *Landscape and Open Space*). Shade provided by solar collector parking lot coverage counts as parking lot shading.

## 2.7 Sign Regulations

### 2.7.1 Sign Requirements for PA-1 through PA-15

Signs shall be permitted in FEZ PA-1 through PA-15 as follows: See also Section 2.8 for additional FEZ entry feature design concepts and information. See Figure 2.7.1 for major sign locations.

- **Pylon Signs:** There will be allowed one (1) double-faced pylon freeway oriented sign for PA-1 through PA-15. The pylon sign for PA-1 through PA-15 shall be fixed text for up to 10 tenants. The overall height shall be a maximum of 75' with a maximum sign area of 1,500 square feet per side. Pylon sign height may be increased to 85' with a specific study reviewing topography, freeway height, base and top of proposed sign height, sight-line studies, and written report providing clearly defined justification for increased height. Study to be included as part of site plan application and/or sign permit application. The pylon sign for PA-1 through PA-15 will be located on PA-16 but shall reflect an architectural character of PA-1 through PA-15. See Figure 2.7.1 for general locations.



*The photo shows the intent of signage placement and acceptable height to width*

- **Building Signs:** Building signs shall be allowed on all building elevations. The allowable building-attached signs shall be 2.5 square feet of sign area per linear foot of public right-of-way building frontage. The total maximum allowable signage for a single tenant for any signage that can be viewed from any public right-of-way shall be 200 square feet. Building signs shall not exceed 80% of the public right-of-way building frontage.
- **Directories:** There may be up to six (6) directional signs for PA -1 through PA-15. They may be internally illuminated or indirectly lit. The maximum height shall be 6'-0" with a maximum sign area of 20 square feet per side.
- **Monuments:** There shall be up to six (6) multi-tenant and project identification monument signs for PA-1 through PA-15. The monument signs may be internally illuminated or indirectly lit. The maximum height shall be 8'-0" and shall not exceed 48 square feet per side.
- **Misc. Signage:** Miscellaneous signage on site/buildings shall be allowed when intended solely for the convenience of the guests and not the general public (i.e. way-finding signs, building entry signs, etc.)

## 2.7.2 Sign Requirements for PA-16

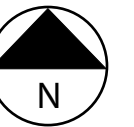
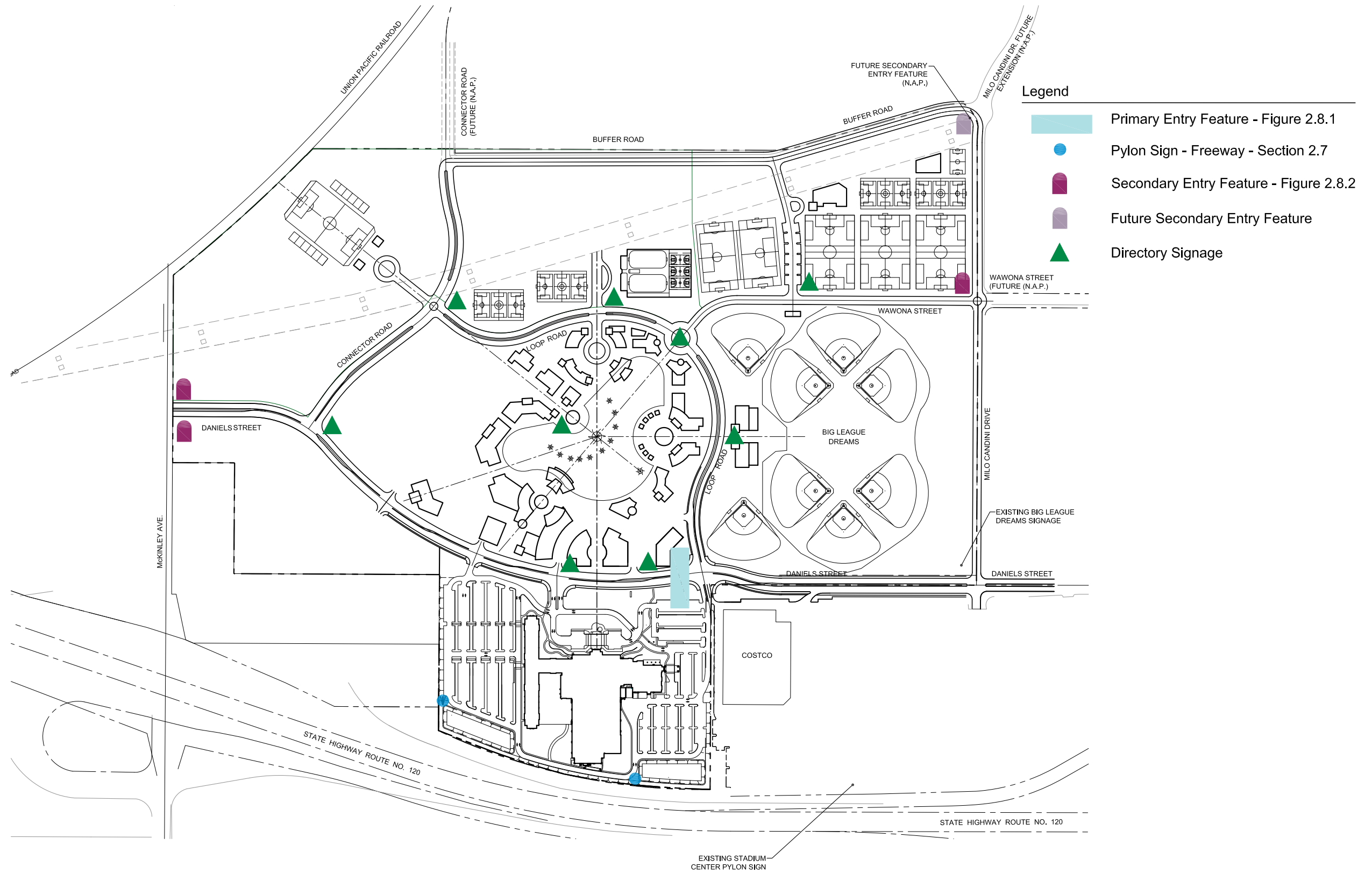
Signs shall be permitted in PA-16 as follows: See figure 2.7.1 for major sign locations.

- **Pylon Signs:** There will be allowed one (1) on-premise double-faced pylon freeway-oriented sign for exclusive use for PA-16 separate from the pylon sign in Section 2.7.1. This sign may contain electronic text and act as a message board for the PA-16 resort. The pylon sign shall incorporate architectural features, colors, and elements of the adjacent building character and style (PA-16). The overall height shall not exceed 75'. The maximum sign area shall not exceed 1,500 square feet per side. Pylon sign height may be increased to 85' with a specific study reviewing topography, freeway height, base and top of proposed sign height, sight-line studies, and written report providing clearly defined justification for increased height. Study to be included as part of site plan application and/or sign permit application. See Figure 2.7.1 for general locations.
- **Building Signs:** Building signs shall be allowed on all elevations of building façades. The maximum area for each sign shall be 120 square feet with a total of 1,360 square feet for all building signs on site.
- **Directories:** There may be up to six (6) directional signs. They may be internally illuminated or indirectly lit. The maximum height shall be 6'-0" and shall the maximum sign area for each sign shall be 20 square feet with a total of 120 square feet for all directory signs.
- **Monuments:** There shall be one (1) on-premise monument sign. The sign may be two-sided and the maximum height shall be 16'-0" and shall not exceed 500 square feet total. The sign may be internally illuminated or indirectly lit. The design shall match the architecture of the PA-16.
- **Misc. Signage:** Miscellaneous signage on site/buildings shall be allowed when intended solely for the convenience of the guests and not the general public (i.e. way-finding signs, building entry signs, etc.)

## 2.7.3 Master Sign Program (PA 1-15)

A comprehensive Sign Program for PA-1 through PA-15 shall be developed, submitted, and approved prior to or concurrent with the Site Plan Review approval of the first development application for PAs 1-15. The signage for PA-16 will be approved with the Site Plan Application for PA-16 and not a part of the Master Sign Program.

Any electronic display sign (e.g. LED sign) proposed to be located within the FEZ shall be subject to the permit process, standards, and findings for approval provided in Manteca Zoning Ordinance Section 17.54.115 – Electronic Display Signs.



## 2.8 Entry Features

The entry features help to set the tone for the entire FEZ and are to be designed to reinforce the Early California Architectural theme (See Section 2.4) with corresponding landscape. There are three hierarchies (Primary, Secondary, and Directory) of entry features in the Family Entertainment Zone and are depicted in Figure 2.7.1 and further described below. Pylon signs are considered signage, not entry features, and are included in section 2.7.

- ***Primary Entry Feature:*** The main entry feature for FEZ is located on Daniels Street northwest of the existing Costco. It is anticipated to be a large architectural feature that spans the roadway as shown in Figure 2.8.1. However, alternate Primary Entry Feature designs may be approved by the City of Manteca such as vertical elements in the median or possible roundabout. The primary entry feature shall incorporate architectural materials and landscape design that is consistent with the architectural design requirements and recommendations for PA-1 through PA-15 (Section 2.4 and Section 5.1).

Arch-over-roadway - Architectural materials shall reflect the materials that are proposed in the Architectural Design Guidelines (See Section 2.4). Stucco towers on each side of the road with barrel tile roofing and windows to reinforce the theme. The arch across the roadway shall be a steel truss structure with wire mesh for signage placement. The arch shall be set at sufficient height to allow for traffic, meet MMC requirements, meeting building code requirements, and shall not be less than 15'-0" above the roadway with side clearances as required by the Public Works Department. The entry feature and associated signage as depicted in Figure 2.8.1 is for reference only and the final wording, logos, images, etc. shall be approved as part of the Master Sign Program – see Section 2.7.3. Landscape shall accentuate the entry features architectural forms while allowing clear views to the feature and signage. This entry feature shall include dramatic accent lighting.

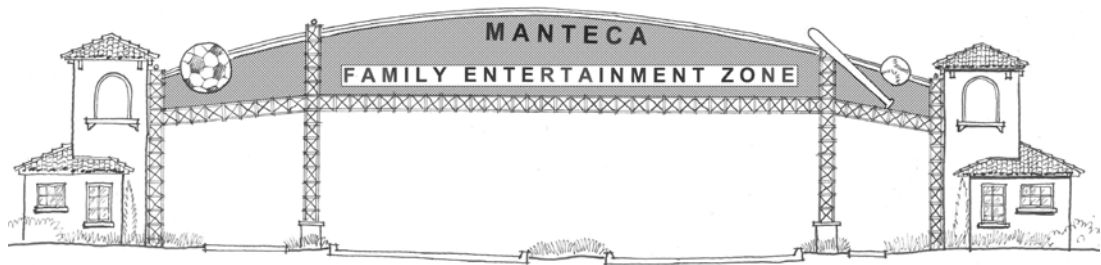


Figure 2.8.1 – Primary Entry Feature

- Secondary Entry Feature: These entry features are to be located on each side of Daniels Street at the project's intersection with McKinley Ave. as well as at Wawona St. and Milo Candini Dr. A future secondary entry feature shall also be constructed at the corner of Milo Candini Dr. and buffer road. The northern extension of Milo Candini Dr. to Yosemite Ave. is completed. The purpose of the secondary entry features is to announce entry into the FEZ, using similar materials, signage, logos, etc, but at a smaller scale than the Primary Entry Feature. These Secondary Entry Features are to incorporate low walls, steel truss structure, and signage panels on the side of the roadway to create a gateway. Landscape is to be similar to the main entry feature and provide accent and backdrop as needed to accentuate the form and project entry features/signage. The Secondary Entries are to be located at street corner areas with land dedicated to the sign that is 30' of street frontage on each corner street with a diagonal line connecting to create a triangle for the signage and landscape.

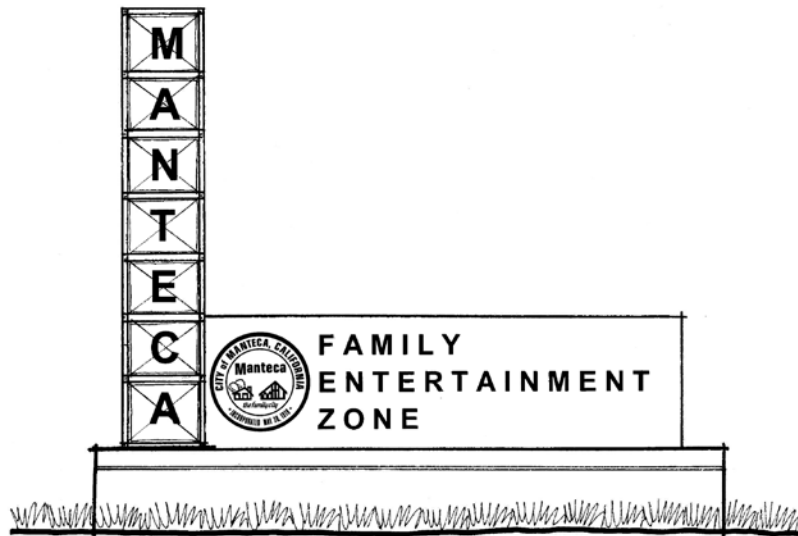


Figure 2.8.2 – Secondary Entry Feature

- Directory Signage: Placed throughout the FEZ are signs that are to incorporate similar elements as the Primary and Secondary Entry Features such as steel truss and stucco base with matching lettering, logos, etc. These signs are to function for both vehicular and non-vehicular users and provide directions to FEZ amenities such as stadium, soccer fields, hotel/resort, etc.

Section 3

# Circulation and Parking

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## Section 3 – Circulation and Parking

### 3.0 Circulation Plan

The circulation network for The Family Entertainment Zone (FEZ) consists of: two partial existing major collector roads, the provision of minor collector streets, bike lanes and pedestrian paths, and future public transportation routes. The primary goal of the FEZ circulation plan is to provide safe and efficient movement of vehicles, cyclists, and pedestrians within the Master Plan Area while also facilitating safe and efficient connections to the existing street and highway network.

Access to the FEZ will be provided by Daniels Street which provides a direct link from the Plan Area to the existing South Airport Way interchange at Highway 120, a vital east-west freeway that links the Central Valley to the region. South Airport Way also provides access to the heart of downtown Manteca. Milo Candini Drive will be extended in the future to the north where it will intersect Yosemite Avenue that provides access to Manteca; however, this extension is not a part of this Master Plan. Additionally, the Project is designed and planned so that as development of the McKinley Avenue/Highway 120 interchange to the west occurs, there will be a connection from the Plan Area to Highway 120 in both the east and west directions.

Improvements within the FEZ includes the establishment of a new internal circulation network as well as the extension and enhancement of existing streets. The proposed vehicular circulation system will provide convenient and safe access to all locations within the FEZ as illustrated in Figure 3.0.1. The planned street network provides access to all planned uses from Daniels Street and its extension to McKinley Avenue, and Milo Candini Drive via two collector streets which link to a Loop Road central to the project.

All streets within the FEZ are designed with sidewalks on both sides of the street; with the exception of the Buffer Street along the northern property boundary. A well-integrated street and sidewalk system and generous street landscaping along the streets coupled with both Class I bike paths and Class II bikeways along the roadways promotes pedestrian and bicycle use throughout the FEZ. (See Figure 3.7.1).

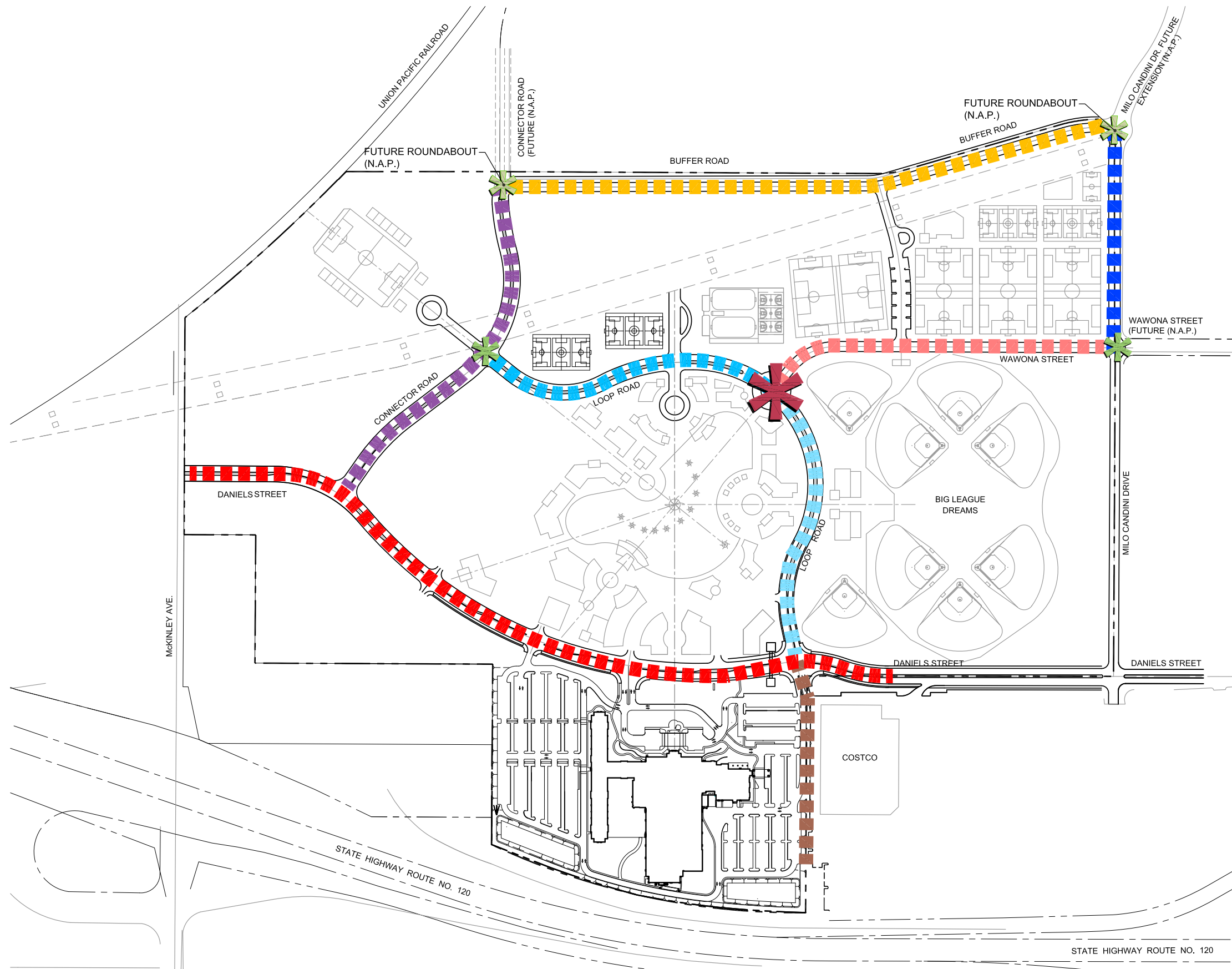
For purposes of brevity, the use of the term 'bicycle' includes all common non-motorized vehicles such as skate boards, scooters, roller-blades, etc.

Daniels Street, a partially existing right-of-way, is classified as a major collector road in the City of Manteca's General Plan Circulation Element and the portion of Daniels Street that is aligned through the Plan Area will be implemented as part of this Plan. New rights-of-way within the Plan Area are:

- **Major Collectors:** 'A' Street - Daniels Street,  
'B' Street - Milo Candini Drive
- **Minor Collectors:** Street 'B1' - Wawona Street, 'C' Street - Loop Road  
Street 'C1' - Connector Road 'D' Street - Buffer Road

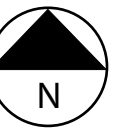
#### Circulation Standards

- All roadway development standards and dimensions within the FEZ shall be consistent with cross-sections shown in the proposed right-of-way cross sections in this Master Plan (See Section 3.2).
- The street layout within the FEZ is to be generally consistent with the Vehicular Circulation exhibit (See Figure 3.0.1).
- All streets within the FEZ shall be lined with street trees.
- All streets to incorporate sidewalks.



**Street Legend**

- A - Daniels Street - 103' ROW
  - B - Milo Candini Drive - 70' ROW
  - B1 - Wawona Street - 72' ROW
  - C - Loop Road - 96' ROW
  - C - Loop Road - 96' ROW  
(See Figure 5.2.9-5.2.10 for coordination with Utility Corridor)
  - C1 - Connector Road - 96' ROW
  - D - Buffer Road - 77' ROW
  - E - Access Roadway/Driveway
- 
- Roundabout -Primary
  - Roundabout -Secondary
  - Secondary Roundabout to be installed with Northern extension of road beyond FEZ.



### 3.1 Existing Rights-of-Way

A portion of Daniels Street and a portion of Milo Candini Drive are the only existing rights-of-way within the FEZ. Existing Daniels Street defines the southeastern boundary of the Master Plan and is an east-west right-of-way that is classified as a Major Collector. The existing portion of Milo Candini Drive is a north-south right-of-way defining the eastern boundary of the Master Plan.

Milo Candini Drive will extend to the north along the east edge of the FEZ to the south edge of the City Water Treatment Facility, and will be built to match the existing cross section. The future extension of Milo Candini Drive to Yosemite Ave. is not a part of the Master Plan. Daniels Street will be extended to the west to McKinley Ave. and is to be widened per Figure 3.2.1 below.

McKinley Avenue borders the west edge of the Master Plan Area. A future interchange at McKinley Ave. and Highway 120 is proposed, but is not a part of this Master Plan. Potential improvements to McKinley Ave. is not a part of this Master Plan. Daniels Street will connect to McKinley Ave. The configuration of the new intersection and the limited improvements to McKinley Ave. at the new intersection of Daniels St. at McKinley Ave. shall be determined by the City of Manteca Public Works Dept.

### 3.2 Proposed Rights-of-Way

The proposed circulation network within the FEZ is designed to provide safe and efficient circulation for automobile, pedestrian, and bicycle traffic. The rights-of-way also serve to define the streetscape, which when combined with landscape corridors, parkways, and design elements such as fences and entry features, help to establish form and character of the FEZ. The FEZ Master Plan proposed rights-of-way conform to City Standards wherever possible; where they vary from current standards they do so in order to provide additional landscaping and bike lanes. Proposed cross sections for each roadway are as follows:

#### 'A' Street - Daniels Street

This is the southerly project entry road and major collector that includes a sixty-six foot (66') curb-to-curb width with no parking to match the existing roadway to the east. The roadway consists of 4' wide bike lanes on each side, two 11' lanes on each side, a landscaped median, 5' sidewalk on the south side, and 12' Multi-Use path on the north side (west of the Loop Road), and the possible use of swales with secondary drainage within the median and planting strip areas for storm water filtration. (See Landscape and Open Space - Section 5 for further definition).

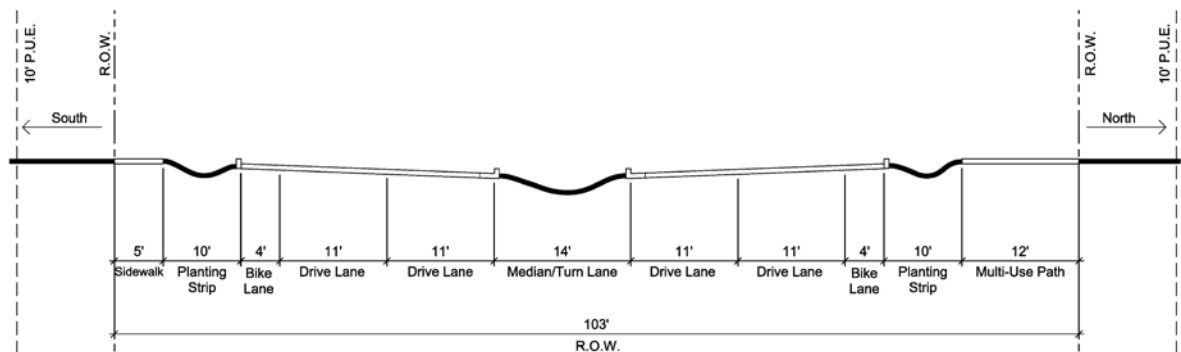


Figure 3.2.1- 'A' Street - Daniels Street ■■■■■

### 'B' Street - Milo Candini Drive

Milo Candini is the easterly project collector that includes a forty-eight foot (48') curb-to-curb width with a dedicated center turn lane, no parking, landscaped parkway strips, 5' sidewalks on either side, and Class II bike lanes on both sides of the street. The new street shall match the existing configuration of Milo Candini Drive to the South.

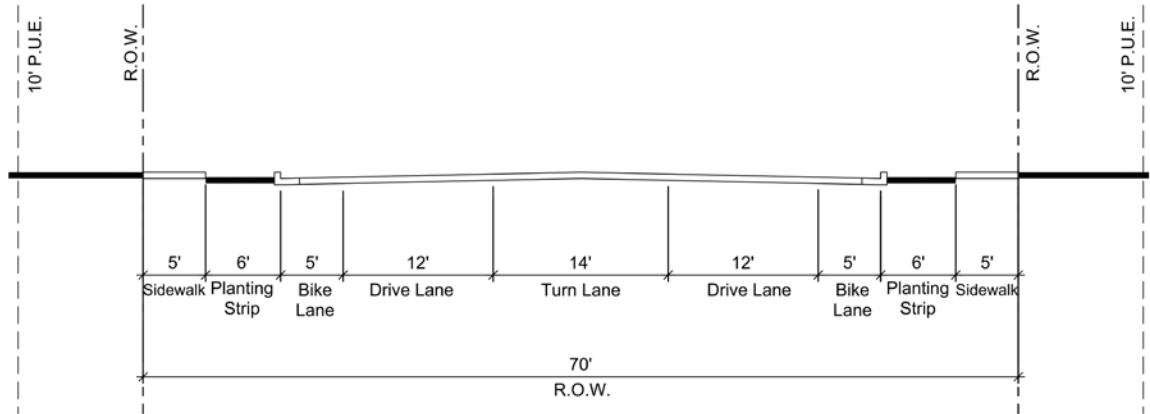


Figure 3.2.2 - 'B' Street - Milo Candini Drive ■■■■■

### Street 'B1' - Wawona Street

This is a connecting road found within the site that includes a twenty-eight foot (28') curb-to-curb width, no parking, landscaped parkway strips, a separated 10' sidewalk on the south side and a 12' wide Class I bike path on the north side separated by a planter strip with trees and groundcovers.

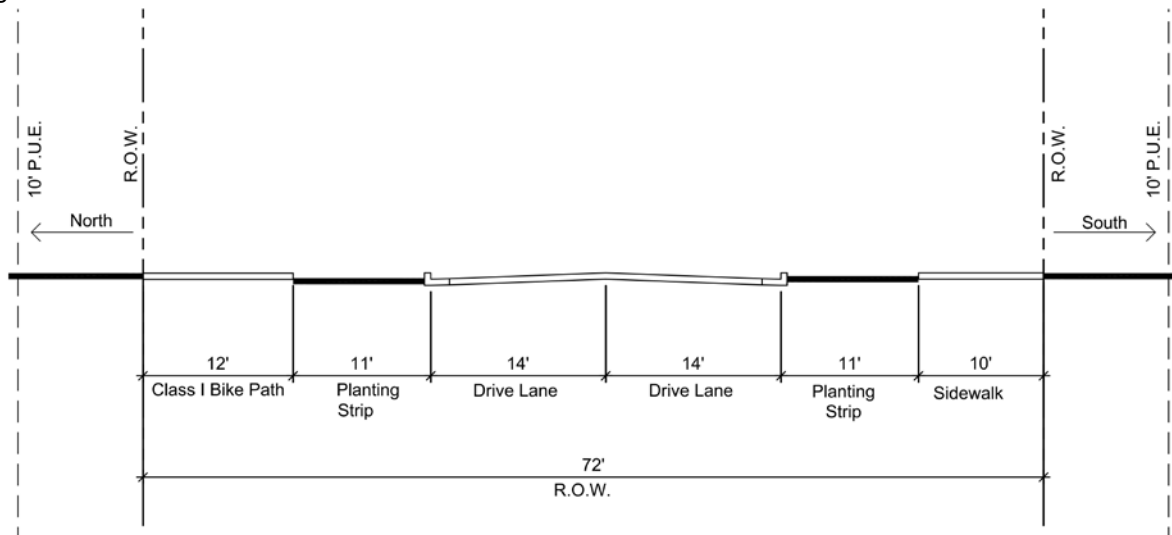


Figure 3.2.3 - Street 'B1' - Wawona Street ■■■■■

### 'C' Street - Loop Road

This is a connecting road found in the center of the site and includes a fifty-four foot (54') curb-to-curb width with no parking, 6' bike lanes on either side, landscaped parkway strips and median, a 10' wide sidewalk separated by a planter strip on the inside of the curve (south and west), and a 12' sidewalk on the outside curve (north and east). There shall be a continuous 24" wide decorative paving strip that is level with the roadway along each side of the median (see also Section 5.2). The possible use of swales within the median and planting strip areas (see Landscape and Open Space - Section 5 for further definition).

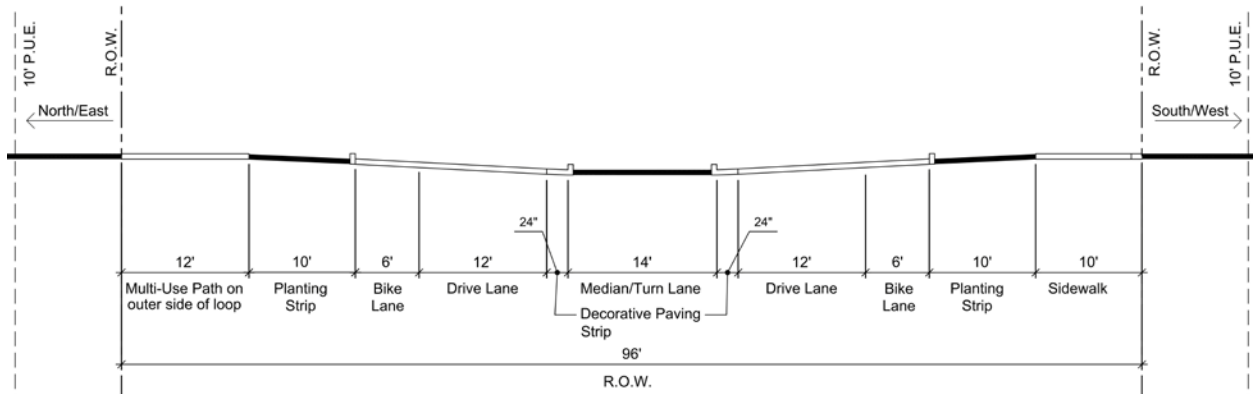


Figure 3.2.4 - 'C' Street - Loop Road ■■■■■

### Street 'C1' - Connector Road

This is a connecting road found on the westerly side of the site that includes a fifty-four foot (54') curb-to-curb width with a median/dedicated turn lane, a Class II bike path on both sides of the street, no parking, and 10' wide sidewalks separated by planter strips on both sides. There shall be a continuous 24" wide decorative paving strip that is level with the roadway along each side of the median (see also Section 5.2). For the portion of this road north of Loop Road, the curb-to-curb width may be reduced or the street cross section may be substituted with 'D' Street – Buffer Road (without the berm); but only with the express approval of the Public Works Department and other applicable City Departments.

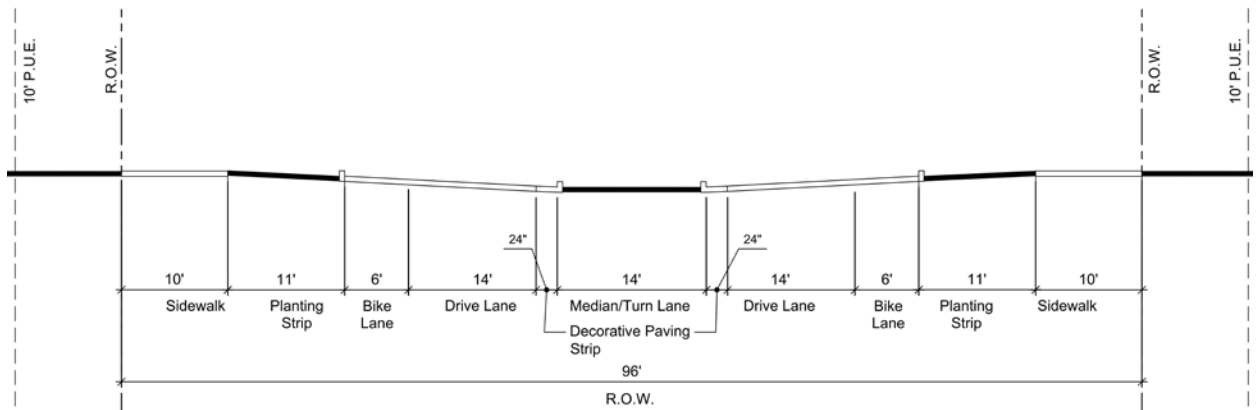


Figure 3.2.5 - Street 'C1' - Connector Road ■■■■■

### 'D' Street - Buffer Road

This is a minor collector along the northern portion of the site and includes a thirty-four foot (34') curb-to-curb width with no parking, two 5' wide Class II bike lanes and two 12' wide travel lanes, a 10' sidewalk separated by a 8' wide planter strip on the south side, and a 25' wide landscaped berm to screen and buffer the existing Wastewater Treatment Facility to the north (See Landscape and Open Space - Section 5 for further definition of the berm and landscape – Figures 5.2.11 and 5.2.12). See also Section 5.4 – *Fencing* for further description of the fence at the top of the screen berm.

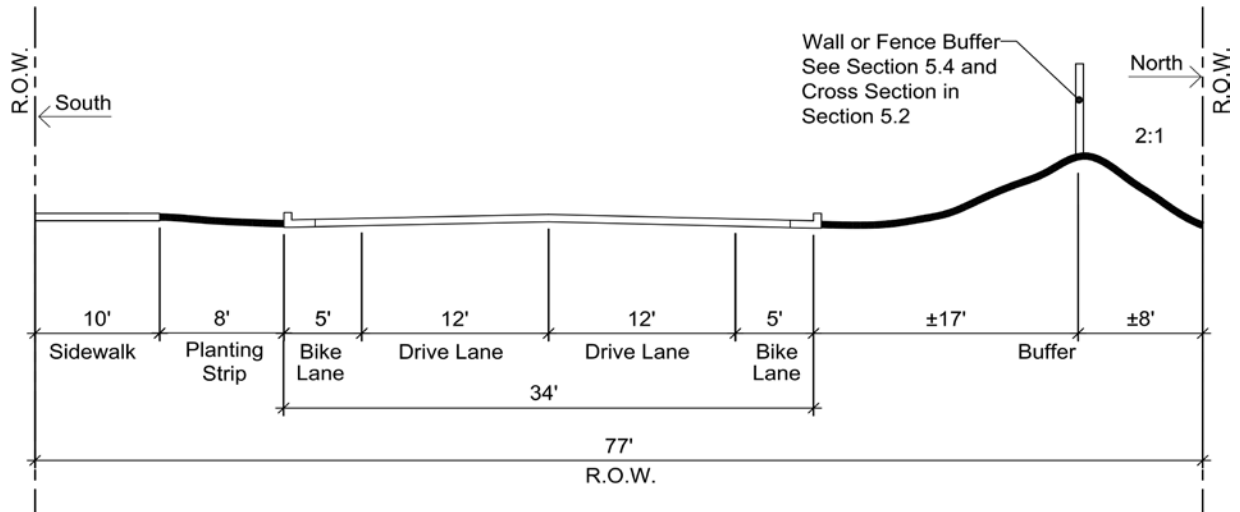


Figure 3.2.6 – 'D' Street – Buffer Road ■ ■ ■ ■ ■

### 'E' Street – Access Roadway/Driveway ■ ■ ■ ■ ■

A public or private access roadway or driveway may be provided on the southeast property line of the FEZ, (west of Stadium Center). As PA-16 is developed, it may be determined that this roadway is not needed; as such the inclusion of Roadway 'E' is not a requirement of the Master Plan. However, if developed, this roadway is to be north/south; shall run parallel to the existing property line, and shall be located within the FEZ plan area (PA-16). The roadway shall connect on the north end to Daniels Street in a configuration that is acceptable to the City of Manteca Public Works Department and Planning Department. The south end of the roadway shall connect to adjacent parking areas within the FEZ plan area and potentially to Stadium Center. Additional connections to PA-16 parking and internal driveways along the west side of the roadway are allowed. This roadway may be a public street or a private access drive, but shall be developed to the requirements of the City of Manteca. Due to the underlying utility corridor, street trees shall be provided, but are to be small and non-root intrusive and subject to approval of the City of Manteca, and SSJID. A parallel sidewalk is not required; nor bike paths.

### 3.3 Roundabouts

#### Primary Roundabout

There is a primary roundabout located at the intersection of Wawona Street with Loop Road (see Figure 3.0.1). As one of the central features of the circulation system the roundabout is to include vehicular and pedestrian circulation, bike path and pedestrian crossings, and landscape. The requirements of the roundabout are as follows:

- Provide for safe and efficient vehicle, pedestrian, and bicycle circulation.
- Allow for clear views through and about the roundabout for all users to clearly see each other.
- Central landscape element that uses similar landscape treatment as the Loop Road. Include landscape up-lighting.
- Use of enhanced paving materials is encouraged and may include raised paving 'tables' at each pedestrian crossing location.
- Provide a 10' wide mortared cobble rumble strip at edge of center island of roundabout.
- There shall be clear and code-compliant signage leading up to the roundabout for vehicles, pedestrians, and non-motorized vehicles to safely navigate the roundabout and the crossings. Signage shall be integrated into the roundabout, median, and parkway strip to allow for clear views while enhancing the overall aesthetic.
- Trees shall be installed in the Utility Corridor in compliance with Figures 5.2.9 and 5.2.10.

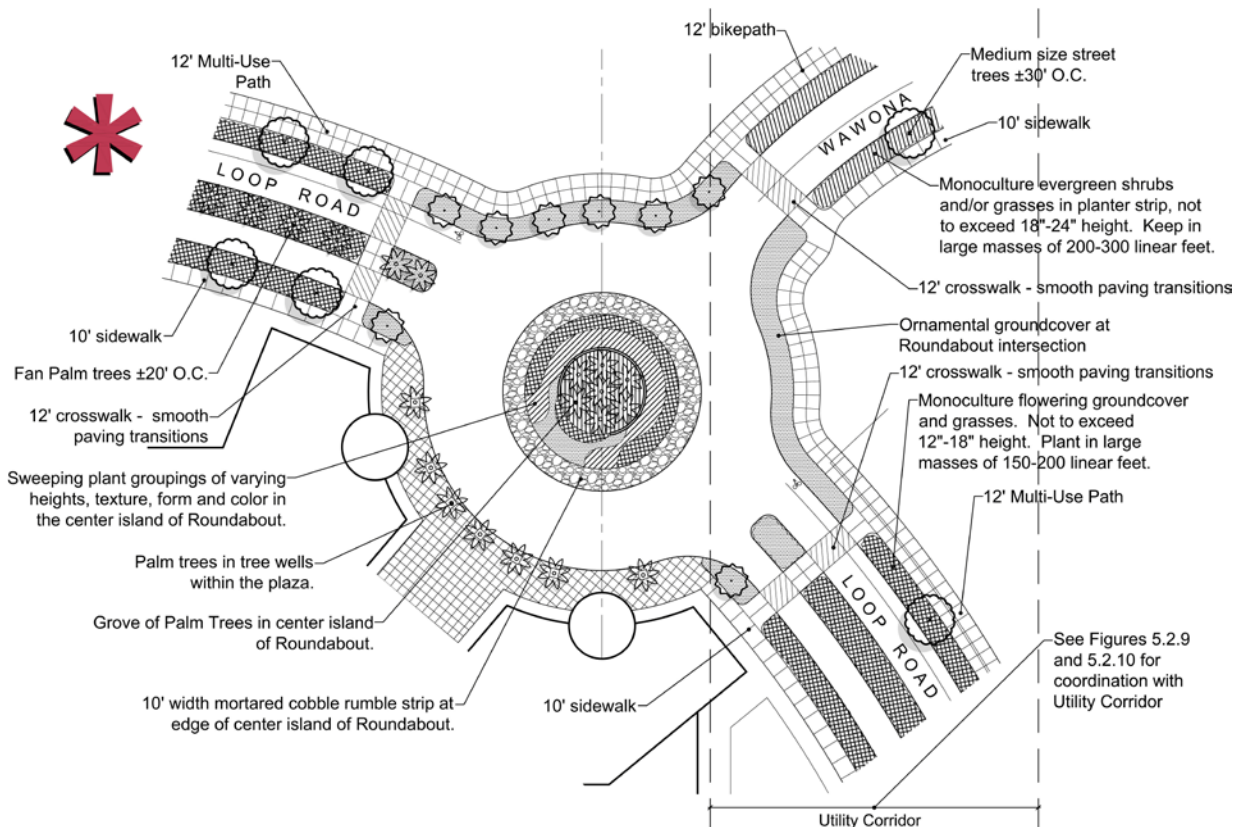


Figure 3.3.1 –Primary Roundabout Plan

## Secondary Roundabout

The secondary, smaller roundabouts are located at Wawona St. and Milo Candini Dr. and at Loop Road and Connector Road. They are also to be provided at Buffer Road and Milo Candini Dr. and Connector Road, but only to be installed when potential future north extensions of either of these streets are constructed. Right-of-way width shall be provided for the construction of these future secondary roundabout locations.

The secondary roundabouts are designed to provide ease of circulation through the intersections with minimal conflicts. They consist of a raised mountable (or rolled) curbed circle in the middle of the intersection with minimum 8' wide wet-set cobble (or other drive-over material) rumble strip, vertical raised curb, and planting in the center. There are small medians in the center of the streets as they lead up to the roundabouts to direct vehicular circulation in the counterclockwise rotation around. The medians may be planted, but are to have a minimum of wet-set cobble (or other drive-over material) and shall also provide a safety zone for pedestrians crossing. The requirements of the secondary roundabouts are the same as the primary roundabouts (preceding page), but these are smaller in scale.

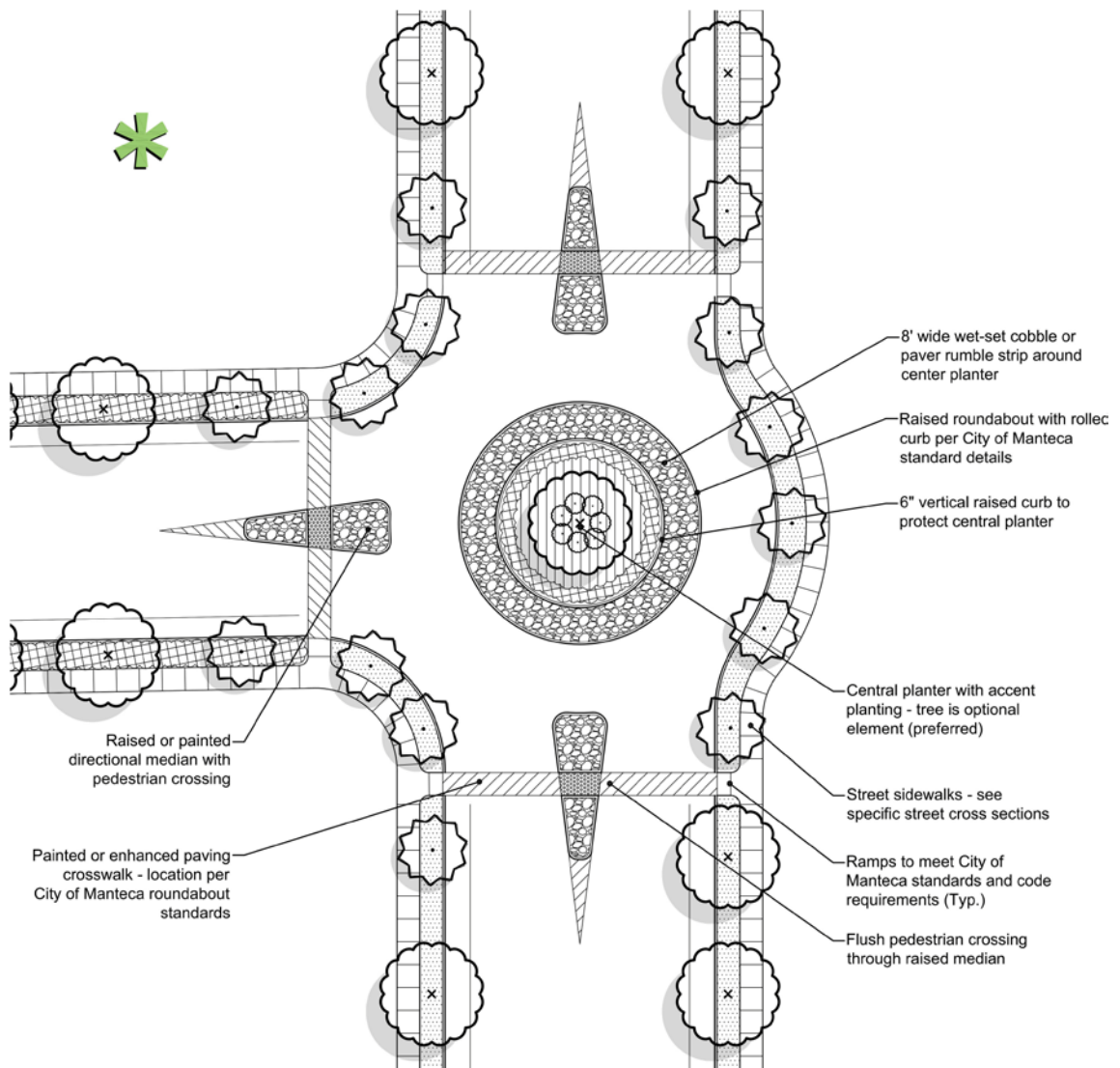


Figure 3.3.2 –Secondary Roundabout Plan

## Family Entertainment Zone





Example Photo – Secondary Roundabout



Example Photo– Secondary Roundabout

### 3.4 Internal Circulation (Driveways, Parking Lot Connectors) Requirements

In addition to the right-of-way streets as described in the previous Sections there is a need for additional project-specific driveways and roadway access. This includes driveway access and internal project, parking lot drive aisles, and roadways to gain access to specific project areas such as retail, sporting venues, hotel/resort, etc. The Land Use Map (See Figure 2.0.1) and Vehicular Circulation Plan (See Figure 3.0.1) show representative locations of where some of these additional circulation facilities may be located. Final location and layout will be determined as projects obtain site plan and design review approval prior to construction. Following are Internal Circulation design requirements:

- Driveways shall provide clear and safe access to the Plan Area facilities from the street circulation system and small comply with MMC requirements.
- Internal project circulation and parking drive aisle layout shall meet the overall intent of the circulation plan with respect to the radial axis from the center of the lake/basin.
- Internal project circulation and parking drive aisle layout shall not interfere or impede the safe function of the Plan Area streets, bike paths, and pedestrian circulation
- It is also understood that there will be a need for service driveways and truck access for specific Plan Area facility uses. These support driveways shall not be allowed to connect to the two Major Collectors and their connection to minor collectors is discouraged. To the greatest extent possible these service drives are to be connected to internal project, parking lot drive isles, driveway connectors, etc., so as not to interfere with the flow of vehicular traffic through the street network and to not interfere with pedestrian and bike path circulation.
- Driveways through and accessing parking lots shall be designed to meet City of Manteca standards and shall provide for attractive entry drives that include landscaped edges, sidewalk access where appropriate, and proper car stacking lengths (per MMC) at stop signs to enter street network.
- Driveways shall use enhanced paving materials to define pedestrian crossings and incorporate traffic calming devices where appropriate to keep vehicular speeds slow.

The FEZ includes substantial pedestrian and non-vehicular circulation (See Figure 3.7.1) and engaging pedestrian-oriented open space (See Figure 5.1.1) to encourage ease of pedestrian access to and between all FEZ PAs. The use of the Retail/Commercial land clustered around the lake/basin in the middle of the Master Plan Area further encourages strolling from area to area as a more pleasant means of pedestrian circulation and to further discourage internal vehicular trips.

### 3.5 Parking

Parking is a key component to the Family Entertainment Zone (FEZ) and has been provided throughout the Plan Area in several forms (See Figures 3.5.1, 3.5.2, and 3.5.3). As required in Section 2.2 of this document, each primary land use within the FEZ shall meet the off-street parking requirements (See Table 2.2.1 Required Off-Street Parking). As part of the Site Plan Application for projects within any of the Planning Areas, a site plan shall be approved which demonstrates that the minimum off-street parking requirements are satisfied. In some cases the construction of parking in PAs 13-15 may be needed to provide specific parking needs. The goal is to provide a balanced parking design that uses on-site parking to the greatest extent possible with the allowance of parking on PAs 13-15 to meet any additional requirements that cannot be met on-site.

The FEZ is envisioned with integrated land uses and a key component is the use of common parking. The common parking concept does not constitute any proposal to reduce the number of required off-street parking spaces for primary uses. It is anticipated that users will often park in one location and then use several different facilities within the FEZ utilizing the pedestrian circulation system. Parking facilities are spread throughout the FEZ with the majority of off-street parking located on the periphery of the Plan Area to promote a more pedestrian-friendly design around the core retail and restaurant portion of the FEZ (PA -3, PA-4 and PA-5). Several of the Planning Areas are designated for large off-street parking facilities (PA-13, PA-14, and PA-15). These parking areas serve both the needs of the facilities directly adjacent as well as the FEZ as a whole. Through the Site Plan application process for any specific Planning Area, or portion thereof, it may be determined that additional parking is needed on PA-13, PA-14, and/or PA-15 to meet the project specific parking requirements. The parking improvements, whether on site or on PAs 13-15, shall be constructed to comply with City of Manteca Standards and shall include logical and thoughtful parking area design including pedestrian connection to the Planning Areas the parking will serve. Parking areas built in PA-13, PA-14, and/or PA-15 shall be done in segments not less than 200-feet long and shall allow for complete vehicle forward-moving circulation through the parking lot and to the access roads when completed (see Figure 3.5.2).

PA-16 will provide its own off-street parking within the PA-16 area and will not participate in common parking for the remainder of the FEZ.

#### Typical On-Site Parking Lot

Following is an example of a typical at-grade parking lot that would be located at each plan area (PA) to service the needs of the specific plan area. The size and configuration will be dependent on the space in which each lot is placed, with the understanding that the example in Figure 3.5.1 is a typical concept for layout. Parking lots are to conform to the City of Manteca standards for parking lot layout and landscape (MMC 17.48 and 17.52). Following are Parking Lot requirements:

- Parking lots are to include appropriately sized parking stalls, drive aisles, and landscape planters per MMC, except where the following FEZ requirements differ from MMC.
- Shade trees are to be provided evenly throughout the parking lot to achieve the shade coverage that is required by the Manteca Municipal Code. Solar panels may be utilized as part of the parking lot shading requirements and qualify as providing shade in the same manner that carports qualify. Carport plus shade trees shall be used in conjunction to meet shade coverage requirements.

- Pedestrian access and traffic calming devices (where appropriate) shall be provided to allow for safe access to the facility for which the parking is being provided. This is inclusive of pedestrian links through the parking lot, safe pedestrian crossings of drive aisles, and clear views to protect pedestrians as they move through the parking lot.
- Parking lots shall be designed integral with LID storm water requirements and parking lot tree coverage requirements. There are multiple ways to meet the LID requirements within the parking lots. The following may be used individually or in groups to meet the LID requirements. Final design must be approved by the City Public Works Department and is required to include parking lot trees. See figure 3.5.1 for examples.
  - Provide minimum 8' wide (excluding curbing) planted swales between parking stalls to allow storm water to flow directly in.
  - Provide minimum 8' wide (excluding curbing) perimeter planted swales that allow storm water to flow directly in.
  - Provide 8'x8' (excluding curbing) diamond tree planters between stalls with intensive LID filtration treatment.
  - Provide minimum 8' wide strip of pervious paving swale incorporated into center of face-to-face parking stalls. This will require min 6'x6' (excluding curbing) diamond tree planters to achieve shade coverage requirements.
  - Alternate means of meeting LID requirements may be used with the approval of the City Public Works Department.

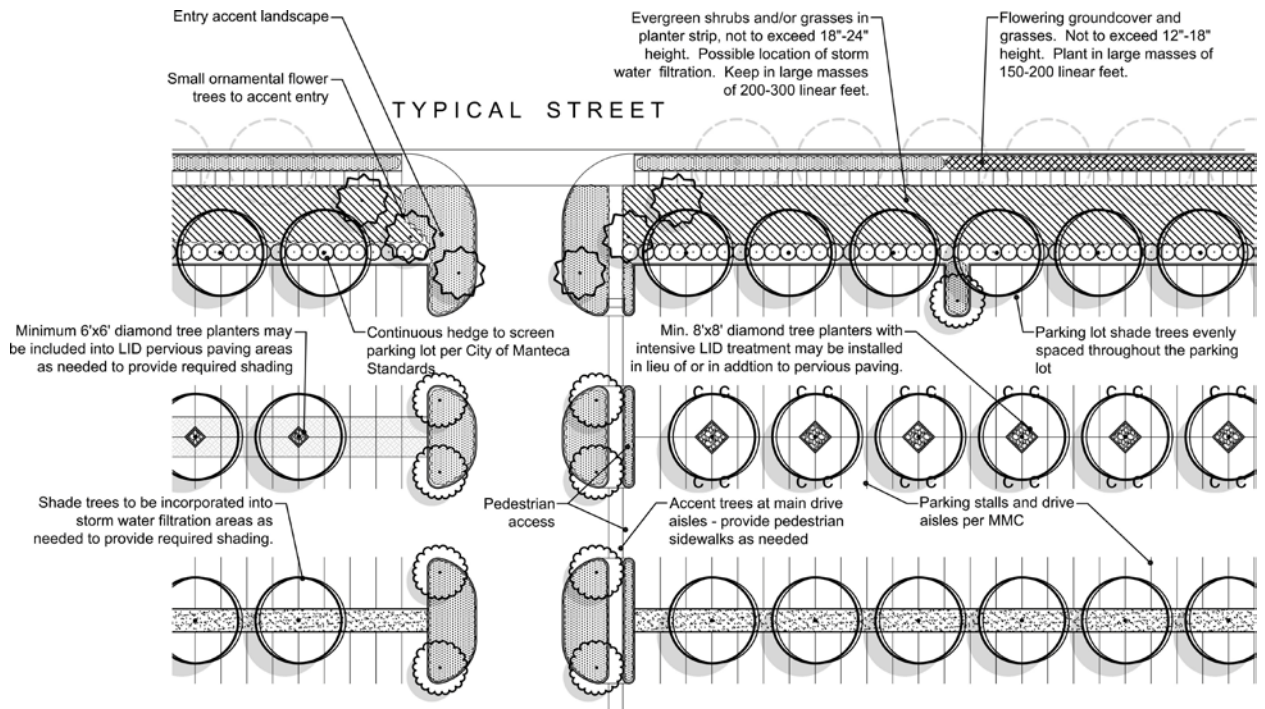


Figure 3.5.1 – Typical Parking Lot Layout

- Parking lots shall provide accessible stalls and access as required by ADA and CBC Title 24, as well MMC.
- Planting shall provide full coverage of landscape areas while allowing clear views through the parking lots and drive aisles.
- The use of pervious paving for parking stalls and/or drive aisles is encouraged, but is not a requirement of the FEZ. Pervious paving may be advantageous to meet LID storm water storage/filtration requirements per MMC.

### **Parking Lot under Power Lines**

The parking lots under the power lines shall be laid out to take full advantage of the land area within the power line easement that is not otherwise useable for any other FEZ use. The typical layout plan (Figure 3.5.2) shows the potential use of one-way driveways with angled parking stalls to provide efficient layout and ease of drive aisle circulation. Site specific layout may vary, but the intent of maximizing parking efficiency shall be maintained. Cross-driveways are to be provided periodically to allow for 'circling' through the parking lot. Driveways will need to get around the tower locations by either maintaining the one-way circulation on each side as shown in Figure 3.5.2, or by having a two-way drive that goes around on one side only. Driveways are to be placed clear of the towers as required by the easement. Depending on clearance requirements, the drive aisles may need to push outside of the easement. Following are requirements of the parking lots under the power lines:

- Parking stalls and driveways shall be installed per MMC. The requirements as listed previously for Typical On-Site Parking Lots shall apply except where differs in the following requirements.
- Low growing landscape shall be provided throughout the parking lots, but trees shall only be provided as allowed by the easement requirements.
- Shade coverage is not required to meet the shade coverage minimums per the MMC requirements. However, wherever possible small trees are to be provided with an average of 1 tree per 10 parking stalls evenly distributed around the perimeter of the parking lots.
- Parking areas built in PA-13, PA-14 and/or PA-15 shall be constructed in phases as needed to provide required parking for project development; but in segments not less than 200' long. Cross access driveways shall be provided at no less than 200' and no more than 300' and shall allow for complete vehicle circulation through the parking lot and to the surrounding access roads.
- Pedestrian access shall be provided from each segment (phase) of the power line parking lots to the FEZ pedestrian circulation system.
- Where parking in PAs 13-15 is being provided to meet the parking needs of a specific project (potentially remote, or not otherwise connected), there shall be a pedestrian path from the power line parking lot to the project site for which it is being developed. The use of on-street sidewalks may be used to meet this pedestrian connectivity.
- LID storm water storage and filtration requirements shall be integrally incorporated into the design of the parking lots to meet City and State requirements. Incorporation of pervious paving is encouraged.

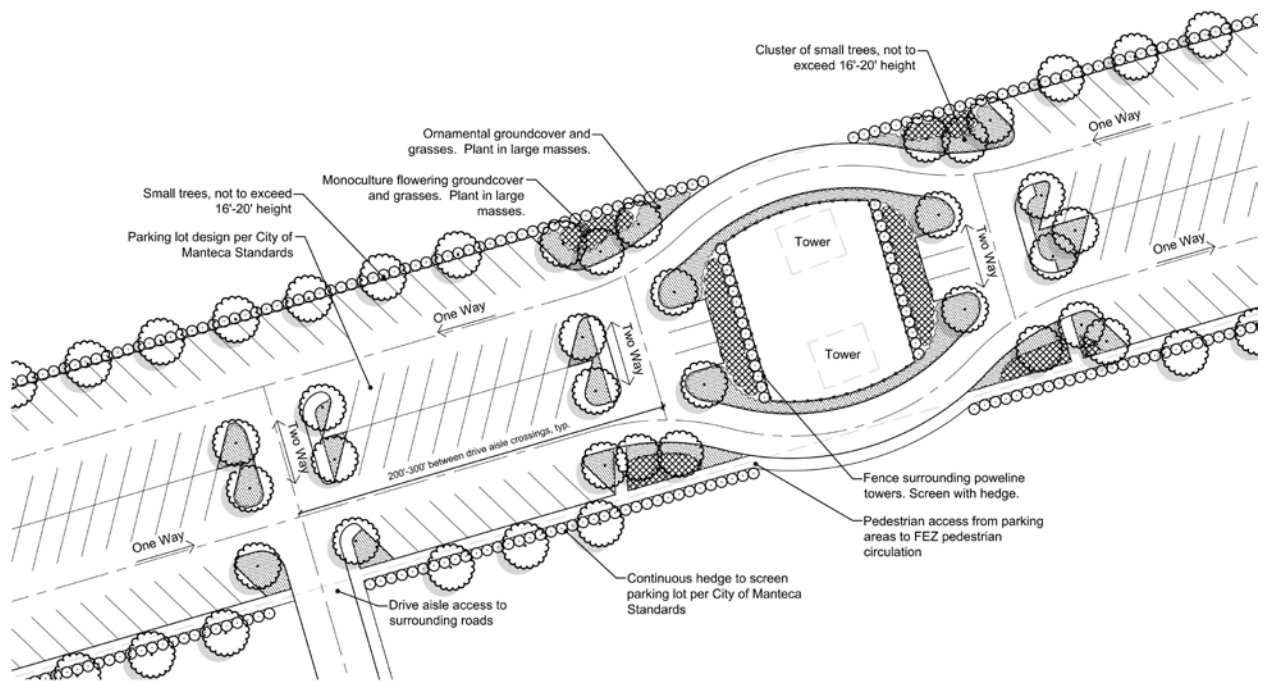


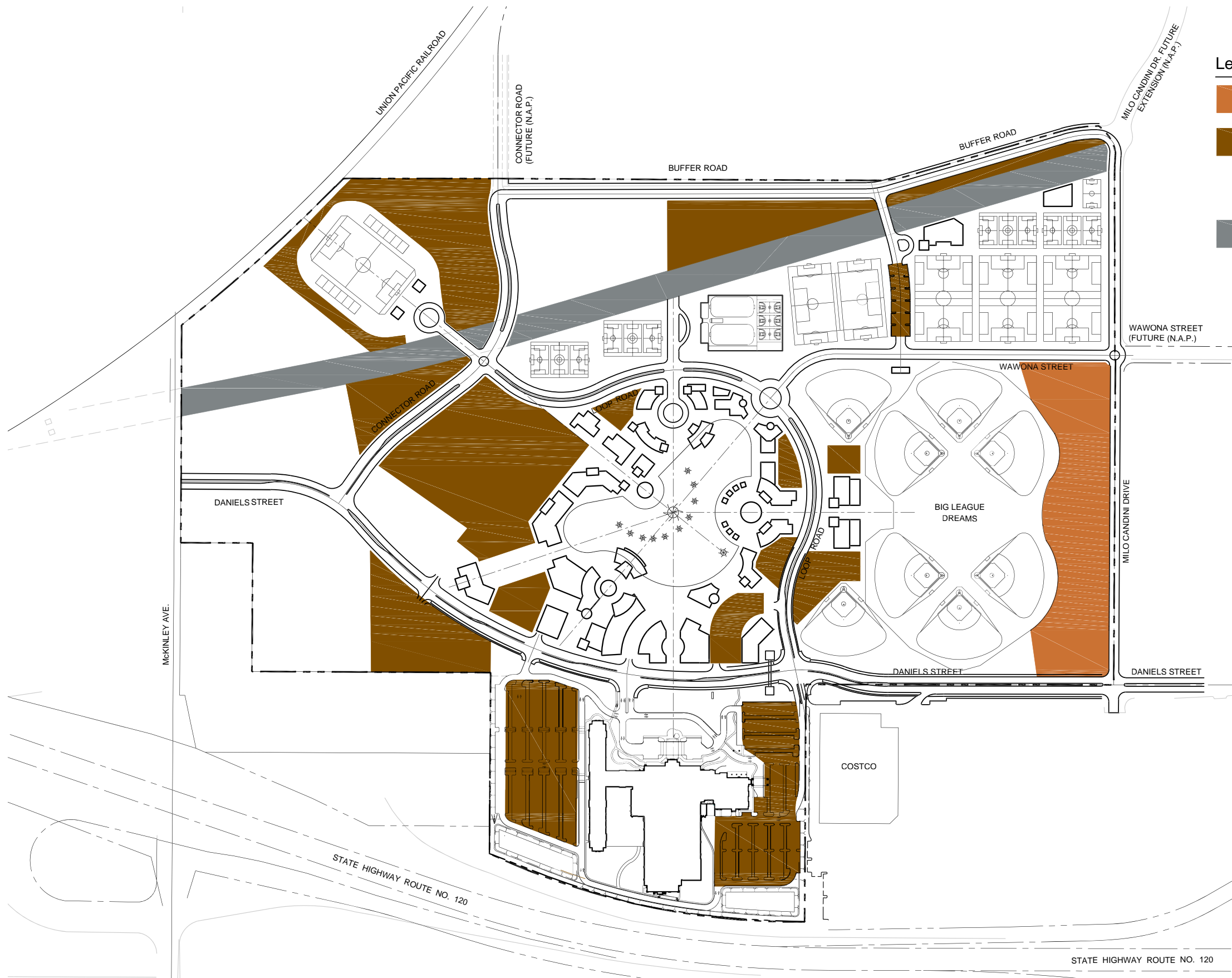
Figure 3.5.2 – Parking Lot under Power Lines

### On-Street Parking

There is only one roadway within the Plan Area (the connector street between soccer fields) that indicates parking along the edge of the streets. In this instance the ‘street’ is not included within the circulation section of this master plan because it is intended to be a drive aisle connection between Wawona St. and Buffer Road to serve the needs of the soccer fields. The parking in this location shall be laid out as perpendicular or angled parking and shall meet the MMC for a typical parking lot. This parking area shall follow the same requirements as listed in the Typical On-Site Parking Lot (within this Section 3.5). On-Street parking in this area is envisioned to be primarily used for accessible parking stalls for the fields and/or as low time-limit parking (20-120 minutes).

### Parking Structures

Parking structures have not been included in this Master Plan, but their inclusion as part of the parking lot strategy is not excluded. Where appropriate, and if the demand for services warrants the increased need for parking, the inclusion of parking structures would be a benefit to the FEZ. In some cases the FAR as described in Section 2.1 may need additional parking in order to achieve the total FAR that is allowed and parking structures are one way to meet the parking requirements in order to achieve the upper end of the FAR allowances. Parking structures shall not be calculated as part of the FAR. Parking structures are to be constructed incorporating architectural character as described in the Architectural Design Guidelines (See Section 2.4).



**Legend**

- Existing at-grade parking to remain
- Proposed at-grade parking lots  
Note - shown referentially - actual location may change with development
- Parking lots within the power line easements

### **3.6 Public Transit**

Public transit bus stops are to be provided throughout the FEZ as deemed appropriate by the Transit Authority. The ROW provided on the streets allows for the inclusion of bus stops at locations throughout the Plan Area. Location of stops will be finalized as part of the Site Plan Review process and in conjunction with the City's bus route master plan. Future public transit stops will be predicated on the City of Manteca and their desire to increase the level of service as well as the potential phasing of development. Bus turn-outs will be designed and provided as required by the City consistent with Public Works Standard ST-38 and shall be designed/placed within the framework of the street tree and street light layout/spacing.

### **3.7 Non-Vehicular Circulation**

Due to the design concepts of the FEZ, pedestrian and non-vehicular circulation is planned to be the preferred mode of transportation throughout the FEZ master plan area. A comprehensive system of bike lanes and sidewalks is proposed for the FEZ to allow for safe and convenient access between land uses (See Figure 3.7.1). The goal is to encourage pedestrian activities, bicycling, and other non-motorized means of getting around. Additionally, the pedestrian-oriented open space that links the center of the Plan Area retail spaces around the lake/basin with the surrounding uses connects to and expands the overall non-vehicular circulation system.

#### **Pedestrian**

Providing clearly defined and enjoyable walking areas and open space is a primary goal of the FEZ. Sidewalks shall line all of the streets within the Plan Area and provide direct connection between all areas of the FEZ and the surrounding existing circulation – especially connecting to Daniels Street and Milo Candini Drive. Where possible, the circulation strives to provide separation between bike lanes (Class II on the streets) and pedestrian (sidewalks separated from the streets with parkway strips). Sidewalks are also to provide a direct connection between the FEZ and the existing shopping center to the southeast (Stadium Center).

Within all of the FEZ land-uses, pedestrian access and connectivity is to take a primary role in the site design. Pedestrian-oriented open space is a key component of the retail/commercial zone and ties directly with all of the surrounding land uses (See Section 5.3). This provides pedestrian connectivity between uses and enhances pedestrian security by minimizing adjacencies with vehicular zones.

## **Bicycle and Non-Vehicular**

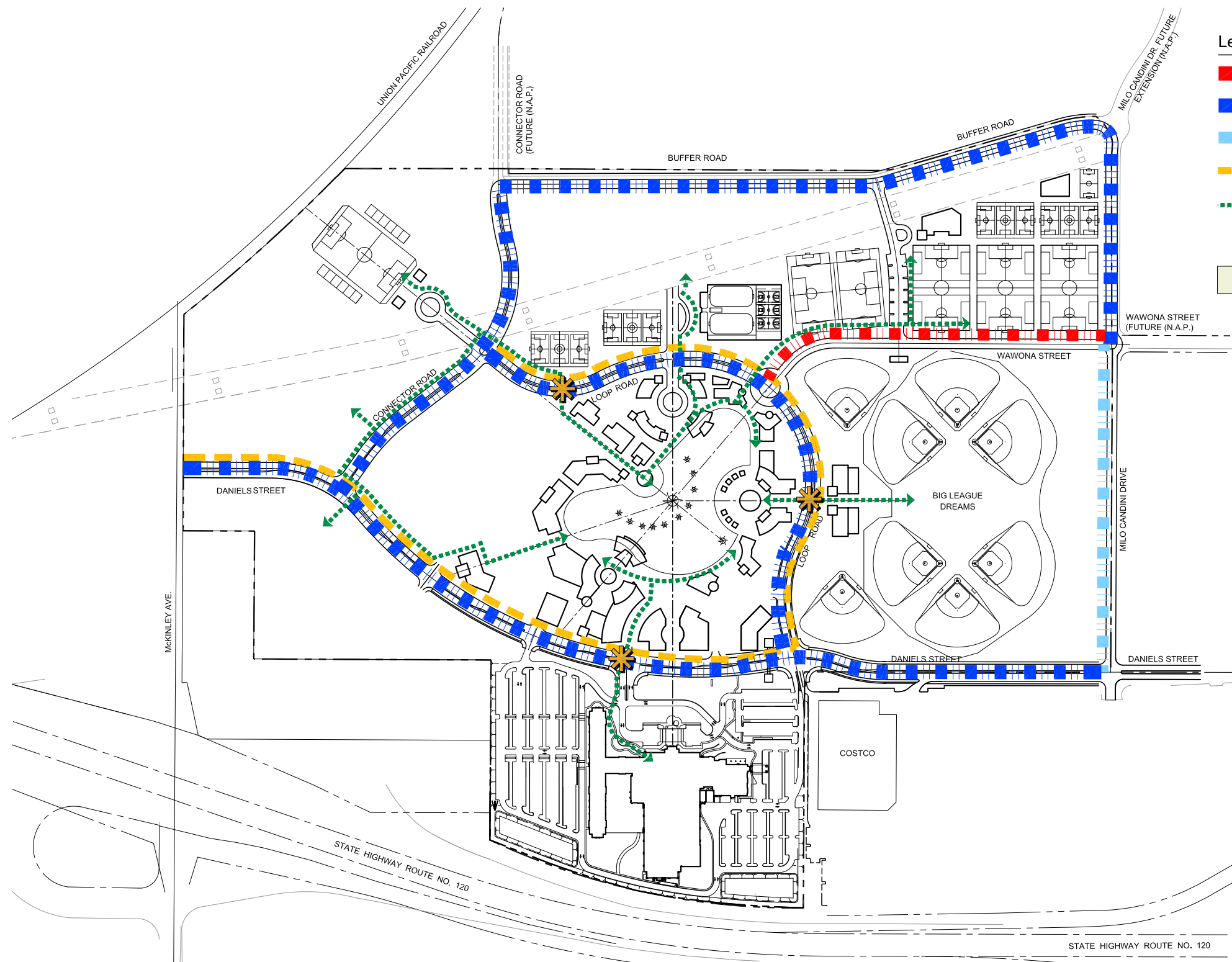
The use of the term 'bicycle' or 'bike' is to be viewed as referring to all common non-motorized vehicles such as skate boards, scooters, roller-blades, etc., as well as bicycles.

In addition to the pedestrian links throughout the FEZ, separate bike paths shall be provided to connect to the City-wide bike trail system and to link the various land use areas and amenities of the FEZ. A combination of class I and class II bike paths provide connectivity throughout the FEZ (See Figure 3.7.1).

- Class I – Provides a dedicated separated 12' wide paved path-of-travel off the street on one side for two-way bike travel to meet Caltrans Standards.
- Class II – Provides a min. 4' wide paved travel lane separated by a white line delineation at the edge of the street on each side for one-way bike travel in each direction – per Caltrans standards, and no parking on Class II bike path streets. Bike lane widths vary in the FEZ. See specific street cross sections in Section 3.2.

The comprehensive bikeway system within the FEZ shall conform to the City's current Bicycle Master Plan that is in place at the time of development and extends this regional system through this portion of the City. Bike paths are extended to the project limits to provide connection to the future development at those areas (See Figure 3.7.1).





- Legend**
- Class I Bike path
  - Class II Bike path
  - Existing Class II Bike path
  - 12' wide Multi-Use Path
  - Primary Pedestrian Path
  - Pedestrian Crossing
  - Pedestrian-oriented open space, see Section 5.3



Section 4

# Infrastructure

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## Section 4 – Infrastructure

### 4.0 Introduction

These infrastructure Master Plans have been developed in accordance with City of Manteca Standards, and in consultation with Public Works staff. All proposed improvements are consistent with the City's adopted Master Plans, specifically:

- City of Manteca 2005 Water Master Plan (Kennedy/Jenks)
- City of Manteca 2012 Wastewater Collection System Master Plan (NV5)
- City of Manteca 2013 Storm Drain Master Plan

Generally, all proposed master utility infrastructure components will be constructed within proposed street rights-of-way. However, two major utility corridors are proposed within the project site; one at the west and northwest boundary of the project and one that borders the west edge of the Big League Dreams complex. These corridors are anticipated to be approximately 50' wide to accommodate various utilities. There will also be three storm drainage storage facilities (basins and/or park/basins and a lake).

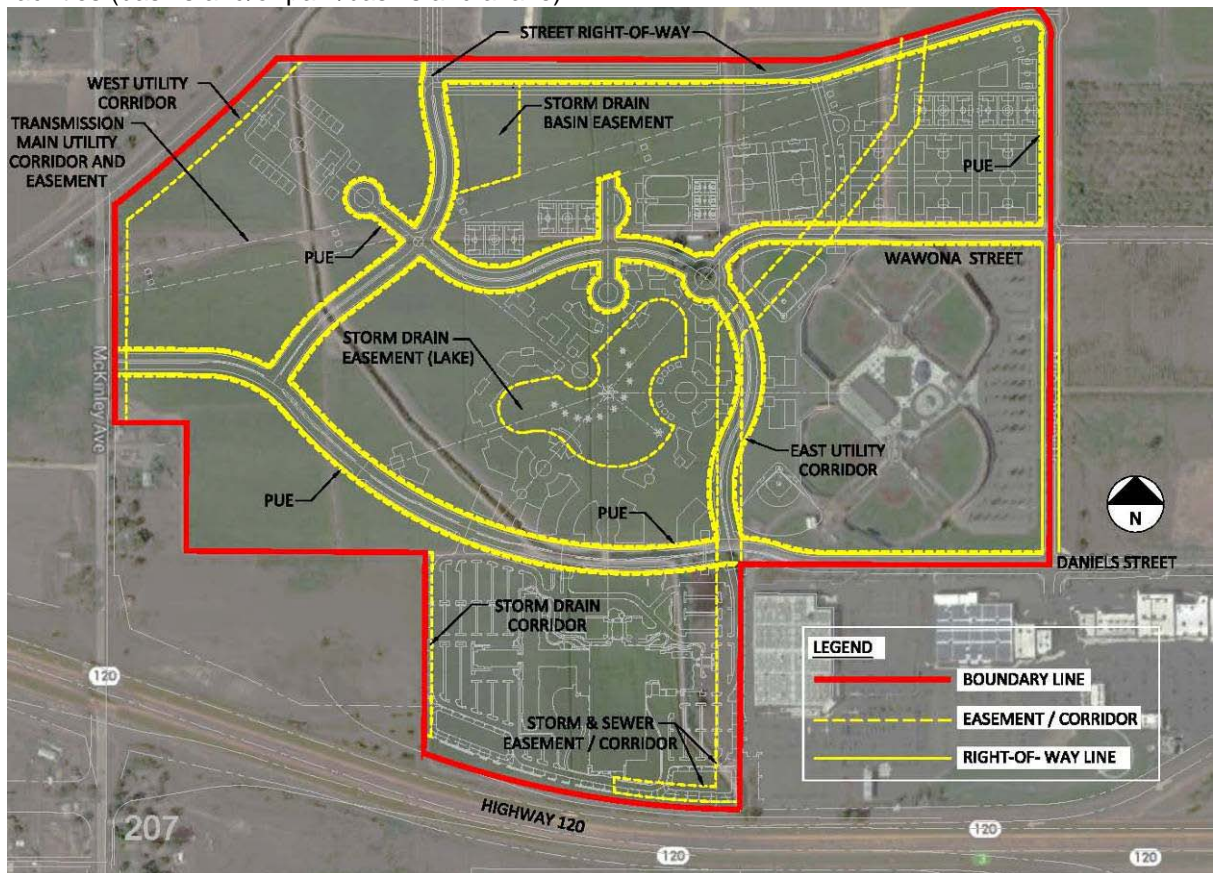


Figure 4.0.1 – Rights-of-Way and Utility Corridors

The utility corridors will impose some restrictions on development. Generally speaking, surface improvements, such as pavement, low-profile landscaping (grass/shrubs) can be constructed within the utility corridors. However, structures such as buildings are typically not allowed, nor masonry walls or other improvements that require deep footings or foundations. Underground improvements, such as utility crossings may be allowed under certain circumstance, but will require coordination and approval by the City of Manteca and/or SSJID.

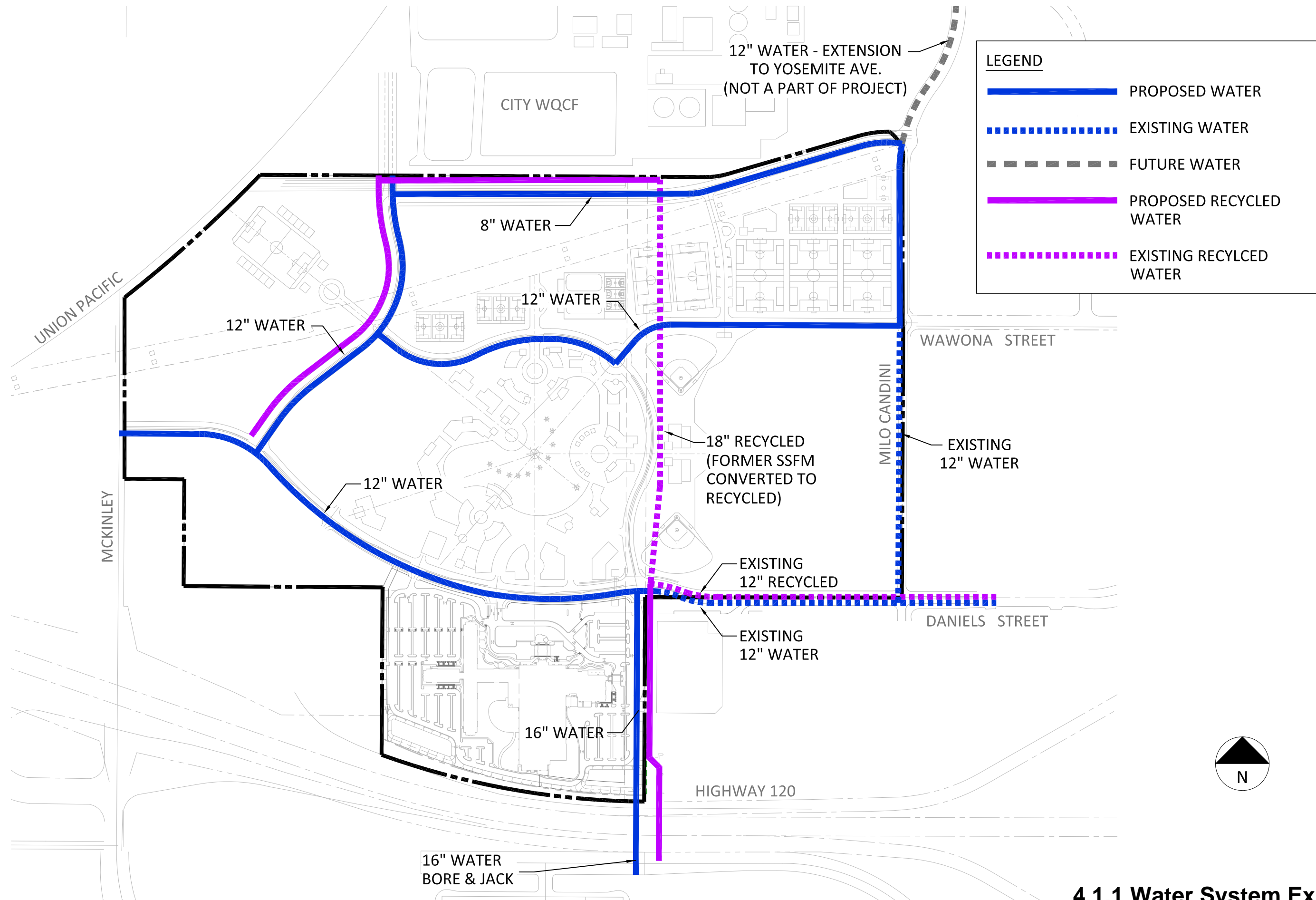
## 4.1 Water Master Plan

The City of Manteca currently provides domestic water to its customers via a network of wells and transmission lines which draw groundwater and distribute throughout the City. The City also provides treated surface water via the South County Surface Water Supply Project (SCSWSP), a joint project with the South San Joaquin Irrigation District (SSJID), the City of Lathrop, the City of Tracy, and the City of Escalon.

Existing Facilities: Existing distribution improvements in the vicinity of the FEZ include a 12" main in Daniels Street, extending from Airport Way to the west end of Daniels Street, and a 12" main in Milo Candini Drive extending from Daniels Street to the north limits of Big League Dreams. North of the project, there is an existing 12" line in Yosemite Avenue.

Proposed Facilities: The FEZ will be served water by extending the existing distribution system through the proposed development. Specifically a 12" distribution main will be installed within the proposed alignment of Milo Candini Dr. from its current northern terminal to Yosemite Avenue, providing a looped connection between Daniels St. and Yosemite Ave. This system will be further extended through the development with 12" lines in the loop road and Wawona St., as well as Daniels St. to McKinley Ave. This will provide a reliable distribution network to serve the proposed uses within the project. Smaller water lines (not shown in the master plan) will be installed as needed to extend water from the 12" distribution mains to the proposed developments. No additional water supply (well) or storage (tank) will be required for the development of the project.

Recycled Water: The City has plans to develop a recycled water system that will provide landscape irrigation water to public parks etc., with treated effluent from the City's Water Quality Control Facility (WQCF). The FEZ will be a natural recipient of this recycled water due to its close proximity to the WQCF and its large areas of open space/park. Proposed recycled water improvements within the project will include the installation of distribution mains extending from the WQCF south along the west side of the WQCF to Wawona and then east to the proposed utility corridor west of Big League Dreams and then south to connect to the existing recycled water line in Daniels St. These recycled water lines will be charged from the domestic system initially, but will ultimately be disconnected from the City's domestic system and isolated as a recycled water (purple pipe) system. Figure 4.1.1 depicts both the existing and proposed master water distribution system components described above.



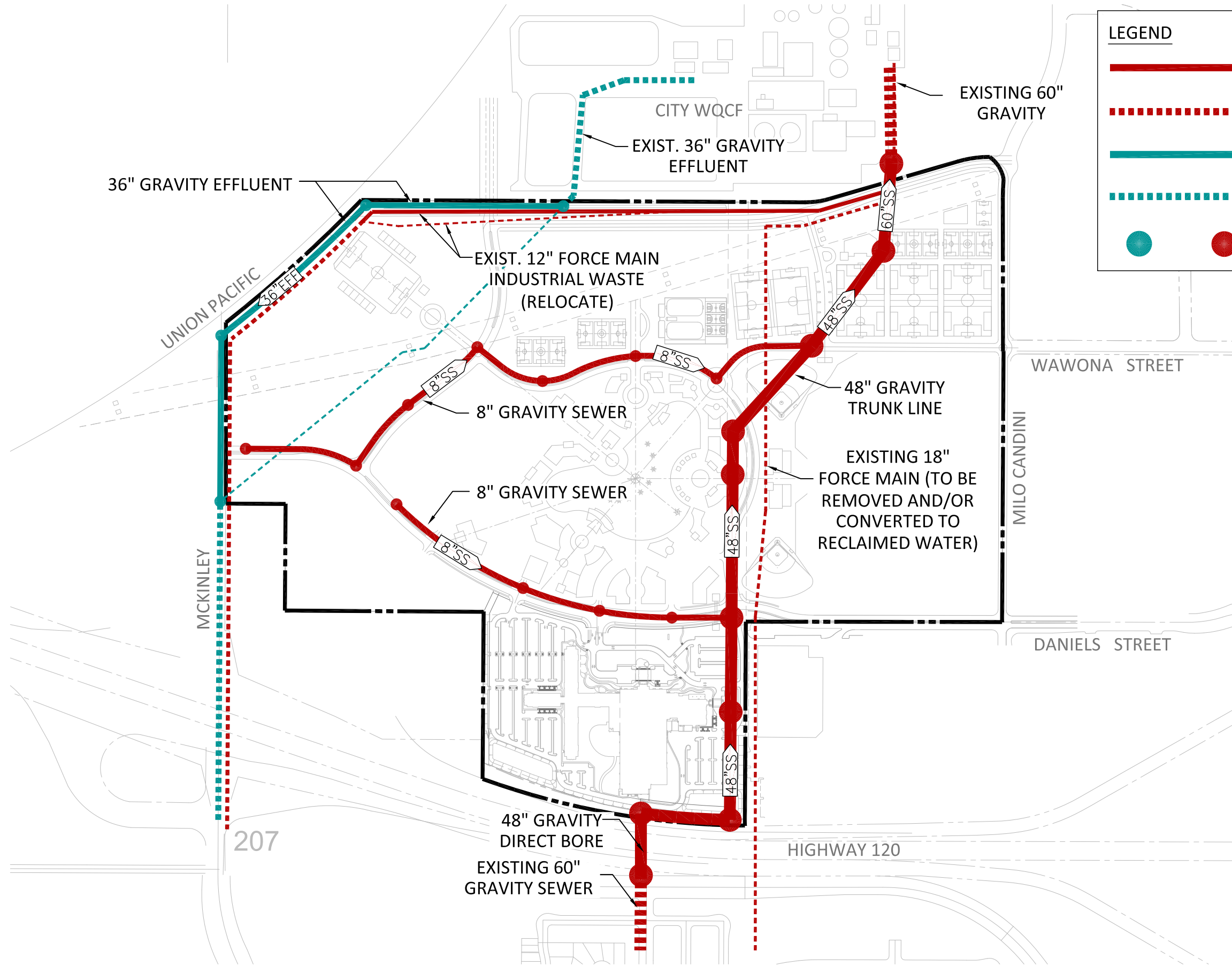
## 4.2 Sewer Master Plan

*Existing Facilities:* The City of Manteca currently provides sanitary sewer service to its customers via a network of gravity and force main sewer lines. Several pump stations and lift stations located throughout the City augment this sewer line network. This conveyance system terminates at the City of Manteca Wastewater Quality Control Facility, located directly north of the project. The facility has a capacity adequate to serve this project.

Properties south of Highway 120 are served by the South Manteca Trunk line, which consists of a combination of gravity lines and force mains, and terminating into the Tara Park pump station, which conveys the sewer flows to the WQCF via an 18-inch force main that crosses under Highway 120 and runs through the project just west of Big League Dreams. Both Big League Dreams and the commercial development southeast of the project connect into this force main with individual pump stations. An existing 12" sewer force main is located on the west end of the project that conveys industrial sewer flows to the WQCF. In addition, there is a 36" gravity effluent line that traverses the northwest portion of the project that delivers irrigation water to City-owned agricultural fields in the project area and privately-owned agricultural fields south of Highway 120.

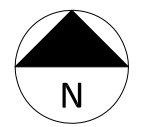
*Proposed Facilities:* The City of Manteca Wastewater Collection System Master Plan calls for a 48-inch to 60-inch diameter sewer trunk line through the project to replace the existing force main serving South Manteca. This trunk line will extend from the existing 60-inch gravity line that has been stubbed just south of Highway 120 to an existing 60-inch stub within the WQCF. This trunk line will be constructed with the development of the project inside the east utility corridor (See Figure 4.0.1). Sanitary Sewer generated by the project will be conveyed to this trunk line via 8-inch gravity sewer lines located within proposed street rights-of-way.

The City has plans for an additional 36-inch gravity effluent line and one more 12-inch force main to be located along the western edge of the project. The existing 36" gravity effluent line will be relocated into the west utility corridor (See Figure 4.0.1), and the new effluent lines will be installed alongside it. The existing 12" industrial waste force main will also be relocated into this utility corridor. Figure 4.2.1 depicts both the existing and proposed master sewer collection system components described above.



**LEGEND**

- PROPOSED SEWER
- - - - - EXISTING SEWER
- PROPOSED EFFLUENT
- - - - - EXISTING EFFLUENT
- MANHOLE OR CONTROL STRUCTURE
- MANHOLE OR CONTROL STRUCTURE



### 4.3 Storm Drain Master Plan

The City of Manteca currently provides storm drainage via a system of gravity storm drain lines which terminate at detention or retention facilities. Existing detention facilities discharge into a network of open channel and underground pipes owned and maintained by the South San Joaquin Irrigation District (SSJID). SSJID facilities eventually drain into the French Camp Outlet Canal (FCOC).

The project site is bisected by the French Camp Outlet Canal and two SSJID drain lines that feed into it (Drain 7 and Drain 8). Drain 7 travels underground within a box culvert in Daniels St. and daylights into an open ditch at the west terminus of Daniels St. Drain 8 conveys agricultural drainage and storm-water runoff from properties south of Highway 120 and travels under the highway in a 48" pipe and lets out into an open ditch that travels north to its confluence with Drain 7 to form the FCOC. The FCOC travels northwest across the site and then follows the alignment of the Union Pacific Railroad to the north. Storm drain runoff from all existing development within or near the FEZ (including Big League Dreams and the commercial development to the southeast) pump their runoff into this drain system. Big League Dreams maintains a storm drain basin adjacent to its development that will eventually be replaced with additional ball fields and other facilities as part of the Master Plan. When this development occurs, the storage volume lost by the development of this basin will be replaced with the development of Basin B.

Development of the FEZ will require the relocation of the FCOC and Drains 7 and 8. It is proposed that each of these facilities be converted from an open channel to underground pipes, or box culverts and that these facilities will be routed through utility corridors or under the streets where they will then daylight into an open ditch of the current FCOC canal next to the railroad. The FCOC carries a peak flow of approximately 150 cfs. Installation of this conveyance system is expected to occur with the first phase of infrastructure.

The project is divided into four major watersheds (each consisting of one to two sub-sheds). Runoff from each watershed will be collected by a network of pipe systems and conveyed to a storage facility serving the watershed. The peak volume from the design storm will be retained in the storage facility and then emptied (pumped) into the FCOC off-peak (when capacity in the FCOC is available). The four watersheds are described below:

- Watershed A (65 acres): This watershed consists of the north (A2) and northwest (A1) portions of the project. Runoff from this watershed will be conveyed to a basin located along the north edge of the site, just east of Street C1. In order to reduce the size of the basin, the future parking lots under the power line easements will be designed to accommodate an average of 3 inches of storage above the pavement during the design storm.
- Watershed B (74 acres): This watershed consists primarily of the retail commercial area located at the center of the project (B1) and Big League Dreams (B2). Runoff from this watershed will be stored in a detention facility central to the commercial area. Two options are being explored; 1) a detention pond and 2) a lake. If Option 1 is chosen, it will operate much like other basins in the project. However, if Option 2 is chosen, the water elevation in the lake will be established to maintain approximately 24-inch freeboard that will serve as the storage area for peak runoff. Additionally, the Big League Dreams Parking lot will retain runoff during a peak storm to an average depth of 4 inches. Storage in the Lake will be pumped into the FCOC via a pump station and force main.



- Watershed C (30 acres): This watershed consists entirely of PA-16 (C1). Runoff from this watershed will be conveyed to dual basins located at the south side of PA-16. These basins will be hydraulically connected with each other as well as Basin D and will outfall into Drain 8 via a storm drain pump station. Additionally, the two large parking lots within PA-16 site will retain an average of 6 inches of storage above the pavement during the design storm.
- Watershed D (29 acres): This watershed consists of the southwest (D1) portion of the project. Runoff from this watershed will be conveyed to a basin located along the southwest corner of D1. This basin will be hydraulically connected with the basins located in Watershed C where it eventually outfalls into Drain 8 via a storm drain pump station.

The project's storm drain system will include water quality features designed in conformance with the standards of the Regional Water Quality Control Board for the Central Valley Region, the City of Manteca, and SSJID. Storm water regulations for construction projects using Best Management Practices will be incorporated into the design. Discharge flow rates from each detention facility into the FCOC will be in conformance with the requirements of the City of Manteca and the SSJID. Figure 4.3.1 depicts both the proposed master storm drainage components described above.

#### **4.4 Telephone Service**

Telephone service will be provided to the FEZ by Verizon Communications. Verizon currently owns and operates a telephone service network throughout the City of Manteca and will augment its existing facilities in the project vicinity and extend service into the Plan Area as necessary to serve the project.

#### **4.5 Electric Service**

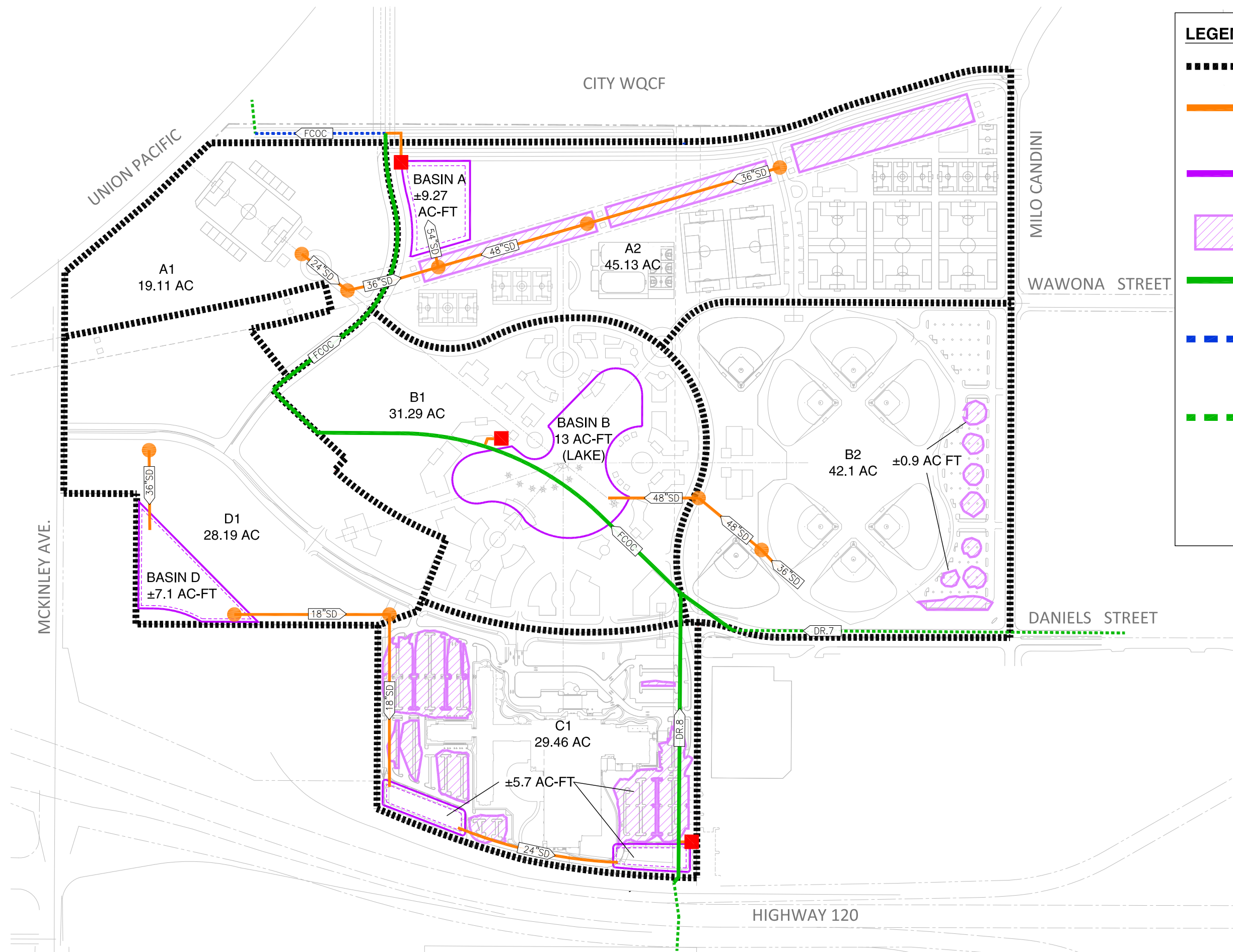
Electricity will be provided to the FEZ by Pacific Gas and Electric (PG and E). PG and E currently owns and operates an electric service network throughout the City of Manteca. PG and E's existing facilities in the area include a 12KV line on the south side of Daniels Street, and the east side of Milo Candini Dr. PG and E anticipates serving this project by extending those services through the site and extending power south on McKinley Ave. to Daniels Street provide a "looped" system. All electrical service lines will be underground. Some pad-mounted equipment (transformers etc.) will also be required and will be coordinated with the City for viable locations.

#### **4.6 Natural Gas**

Natural gas will be provided to the FEZ by PG and E. PG and E currently owns and operates a natural gas service network throughout the City of Manteca. PG and E's existing facilities include a 4" High Pressure Gas main on the south side of Daniels Street and the east side of Milo Candini Dr. PG and E anticipates serving this project by extending these services throughout the site (within proposed street rights-of-ways) and extending gas south on McKinley Ave. to connect at Daniels St. to provide a "looped" system. Any required above-ground natural gas facilities will be coordinated with the City for suitable locations.

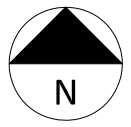
#### **4.7 Cable Television**

Cable television will be provided to the FEZ by Comcast. Comcast currently owns and operates a cable television network throughout the City of Manteca. It is anticipated that Comcast will augment its existing cable television facilities in the vicinity and extend service into the Plan Area in order to serve the project.



**LEGEND**

- SHED AREAS
- PROPOSED STORM DRAIN
- PROPOSED STORM DRAIN BASIN
- ▨▨▨▨▨▨ PROPOSED STORM DRAIN STORAGE AREAS
- PROPOSED STORM DRAIN (SSJID FACILITIES)
- PROPOSED OPEN DITCH STORM DRAIN (SSJID FACILITIES)
- EXISTING STORM DRAIN (SSJID FACILITIES)
- MANHOLE
- STORM DRAIN PUMP



Section 5

# Landscape and Open Space

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## Section 5 – Landscape and Open Space



### 5.1 Landscape Vision

The Family Entertainment Zone (FEZ) Master Plan includes landscape and open space components comprised of different experiences that when combined together create a strong unifying element that binds the plan areas and sets the overall theme and character. The Site and Landscape Vision is inclusive of sport fields, parkways, bike lanes, lake/basin, pedestrian-oriented open space, coordinated street tree network, entry features, signage, and buffer landscape spaces. Creating an overall landscape vision is an integral factor in establishing the character of the master plan area and creating identifiable zones or place-specific locations. The intent is to provide for thoughtful and meaningful placement of landscape features designed to create inviting experiences. This Landscape Concept describes a character that will unify the FEZ. Developers and Designers are to use the information and design direction contained within this Master Plan to develop a landscape design that is complimentary to the architecture, supports the function of the design, and creates a cohesive fabric to ties the various elements of the FEZ together.

The overall landscape and open space theme for PAs 1-15 builds on the Architectural theme presented in Section 2.4 - *Early California*. The landscape will reinforce this theme with traditional California plantings and design elements. Plant species with a variety of form, color, and texture that reflect the California and Mediterranean climate (style) shall be used throughout the plan areas. The plant list provided in Appendix B is to be used as a guide in the selection of appropriate plant species for specific uses, but the designer will need to select appropriate species to reinforce the Early California theme.

Landscaping shall be infused throughout the FEZ to create a sense of place, to create pedestrian friendly inviting spaces, destination environments to accentuate architectural character, to assist in way-finding, to screen unwanted views, and to provide for a safe environment for visitors. Key landscape feature areas are to be tied together with aesthetically appealing landscape corridors using a cohesive palette of plant species.

The landscape theme within PA-16 shall reflect and coordinate with Section 2.5 and is to be different from the Early California theme as described herein. Daniels Street creates a natural transition from the landscape theme dominate in PAs 1-15 and the theme provided for PA-16. Landscape design and style shall follow the architectural theme in PA-16 (Section 2.5). The Natural Rustic theme of PA-16 is to be expressed in the landscape with the use of groves of conifers and deciduous trees, broad masses of grasses and grass-like plants, evergreen groundcover, and shrub groupings with species that reinforce the natural rustic character of the architecture.

### **Family Entertainment Zone**

## Landscape Design Requirements and Recommendations

Following are requirements and recommendations associated with the design and development of landscape and open space throughout the FEZ. The site plan is based on a key central element of a lake/basin with radial view and circulation corridors emanating from the central element. Placement of landscape elements such as paving, trees, etc. shall support and enhance the radial corridor concept.

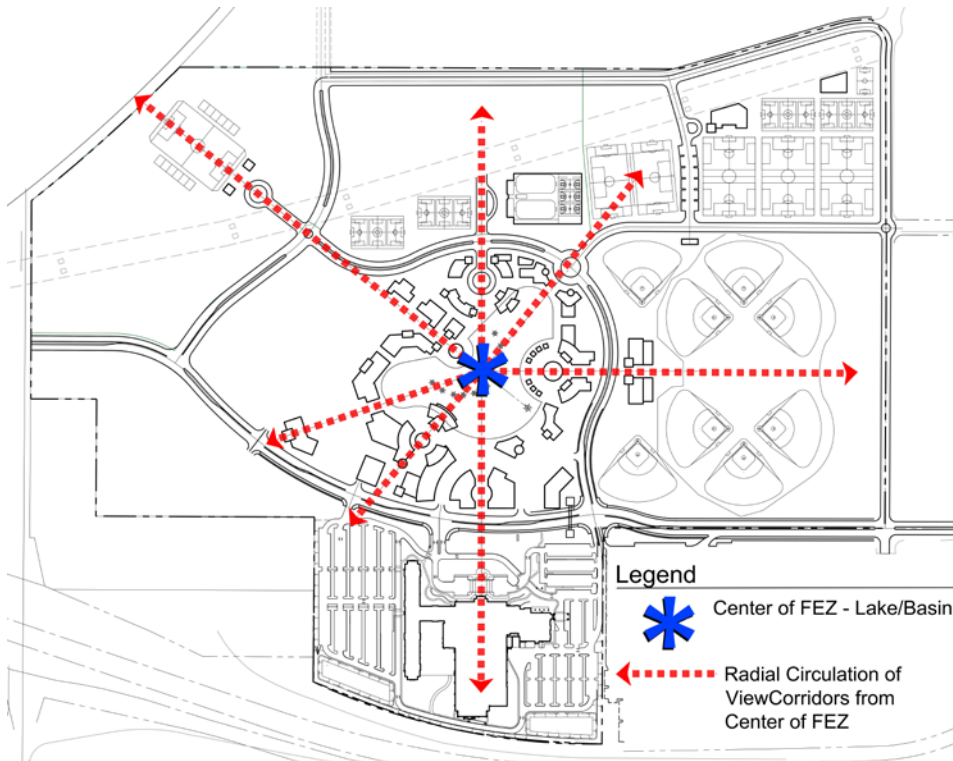


Figure 5.1.2 – Radial Site Design Concept

### Requirements

- All plantings shall be appropriate to the Manteca climate and shall support the Early California design theme for PAs 1-15 and Natural Rustic theme for PA-16.
- Planting and irrigation shall provide an average water-efficient landscape that conforms to the requirements of the Water Efficient Landscape Ordinance (WELO).
- Plant species shall be suitable to the use of reclaimed water.
- Plantings shall be selected for eventual size – no plant species shall be selected that needs to have more than 30% of its size removed to maintain the envisioned function of the plant. Plants shall also be spaced for eventual mature size of the species.
- Select plant species that require minimal formal shearing and will grow together to create informal plant masses.
- Street trees shall be uniform for each street. (See Section 5.2)
- Shade trees are to be planted in adequate densities throughout the FEZ to help reduce heat gain and provide a pleasant environment for users. Shade trees shall also be planted in parking lots to meet the parking lot shading requirements (see Section 3.5). If solar panels are provided, shade trees shall be set clear of the panels to allow for efficient collection. Shade coverage of the panels may be used in conjunction with shade trees to meet minimum parking lot shade coverage requirements.

## **Family Entertainment Zone**











- Limit the use of high water-using plants (such as turf) to high focal point areas and functional use areas. Maximize the use of medium and low water-using plant species. Pedestrian-oriented open space (see also, Section 5.3) shall use enhanced paving, containers, shade trees, accent plants, accent lighting, art, and other amenities to create a diverse and intriguing environment that creates a destination for guests.
- Landscaping at entry features shall be selected to set the character, enhance views of signage, and provide way-finding.



### Recommendations

- Adequate and appropriate landscaping should be provided within the development and future site plan applications.
- Provide landscaping that functions as an aesthetic treatment throughout the FEZ, and is also incorporated, whenever possible, into functional processes of site development such as run-off detention, storm filtering, heat gain mitigation, way-finding, etc.
- Provide for layering of plant heights and diversity of plant groupings throughout the FEZ. This will avoid monoculture and allow for a healthier growing environment for under-story plants.
- As development occurs in phases, each new project should compliment and use similar species as the adjacent developed parcels.
- The use of cobble, boulders, decomposed granite (DG), aggregate mulch, etc. may be used to reinforce the design theme and provide additional function spaces, but must be used in conjunction with landscape and not in place of it.



- Legend**
-  Primary Entry
  -  Secondary Entry
  -  Streetscape landscape - Combination of vehicle zone, pedestrian sidewalk, multi-use paths, and linear landscape
  -  Lake/Basin
  -  Pedestrian-oriented open space - hardscape, landscape, retail, kiosks
  -  Active recreation open space - sports fields, event space
  -  Dense landscape buffer at water treatment plant
  -  Landscape edge at railroad - also includes storm drain swales/basin
  -  McKinley Ave. landscape barrier (Future)
  -  Hwy. 120 landscape barrier



## 5.2 Streetscape Landscape Features



Landscape along the streets within the FEZ shall meet the Landscape Design requirements and strive to meet the recommendations as listed in the previous pages (Section 5.1). Special attention shall be paid to creating a safe environment for all modes of transportation. The following are requirements for streetscape landscape:

- Street trees to be placed at spacing in accordance with the following cross-sections and plans. Lights, trees, and other utilities are to be designed together to maintain the street tree spacing.
- Street trees are to be selected and pruned to avoid low branches to allow clear views between sidewalks and streets.
- Smaller accent trees (such as flowering, or palm trees at Loop Road) are to be used at intersections and at mid-block pedestrian crossings.
- Linear root barriers are to be used as needed and as directed by the requirements of the Parks Dept. Encircling root barriers are not allowed.
- Shrubs and groundcover in the medians and parkway strips are to be naturally low growing, but not aggressively spreading into the hardscape areas.
- In some cases the medians and parkway strips may be used for storm water filtration and/or storage. In these cases the planting shall be low and non-aggressive, but able to withstand inundation.
- Turf shall not be used in medians or parkway strips that are 8' wide or less. Non-irrigated groundcovering such as decomposed granite may be used with the approval of the Parks Director.
- Plant species shall be selected that are hardy to the use of reclaimed water.
- Landscape areas in the Right-of-Way and the entry features shall be designed for inclusion in a Community Facilities District (CFD) that is to be set up in conjunction with and per the requirements of the City of Manteca. CFD shall be initiated with the initial phases of development.

The following typical street cross sections and typical street plan views depict the type, placement, and layering of planting within the streetscape zones. For specific widths and circulation information see the corresponding street cross sections in Section 3.2.



## 'A' Street – Daniels Street

Daniels Street consists of a 103' R.O.W. that includes a 14' median with the possibility of a bio-filtration and/or percolation swale with secondary drainage if deemed appropriate by the City and the civil engineer. The median shall be planted with large shade trees and grassy planting appropriate for its use. There shall be no median trees between Costco and the entry sign (see Section 2.8). Along the south side there is a 5' wide sidewalk separated by a 10' planting strip that may also include a bio-filtration and/or percolation swale, large shade trees and grassy plantings. The north side of the street has a 12' Multi-Use path separated by a 10' planting strip matching the other side. The landscape in this area is to consist of triangularly spaced groupings of broadleaf and evergreen trees with sweeps of monoculture plantings of evergreen shrubs, grasses, and/or groundcover.

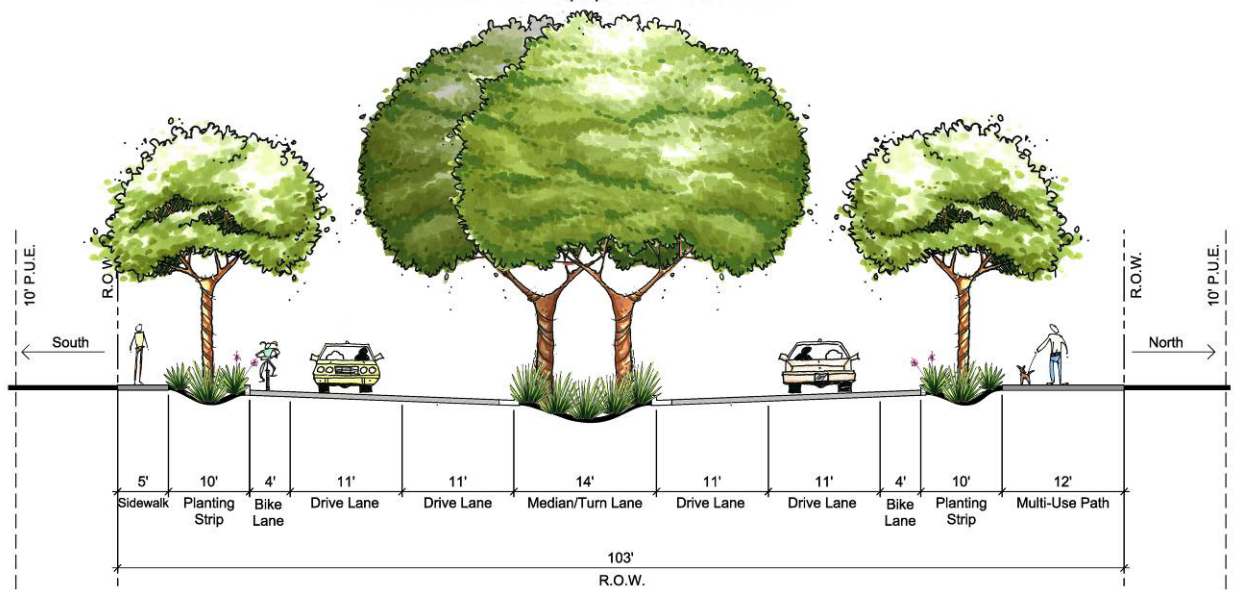


Figure 5.2.1 - 'A' Street - Daniels Street – Section ■■■■■

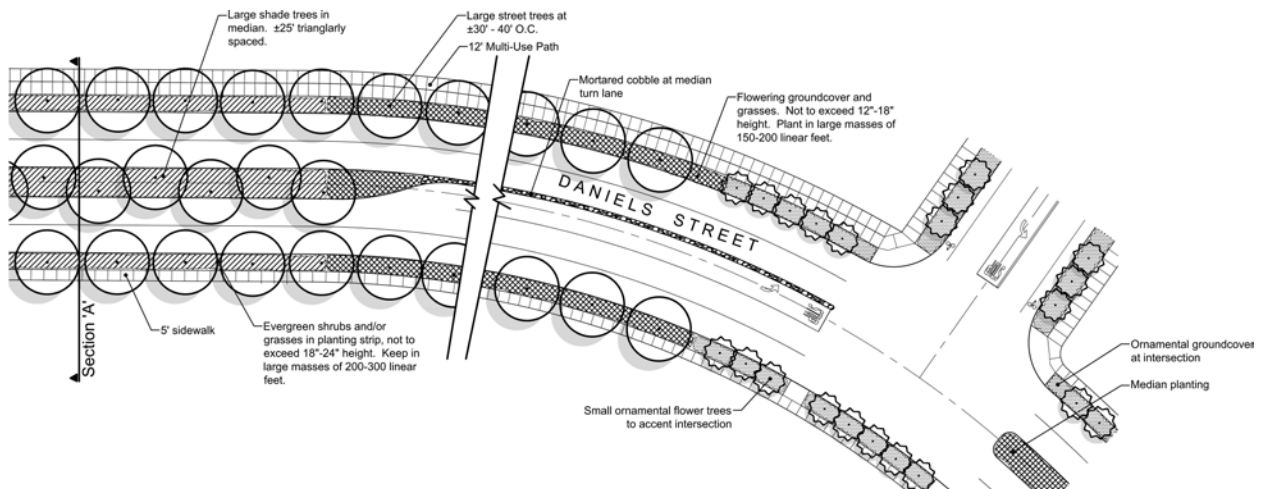


Figure 5.2.2 - 'A' Street - Daniels Street - Plan ■■■■■

**'B' Street - Milo Candini Drive**

Milo Candini Drive shall match the existing segment that is on the east side of Big League Dreams and consists of a 70' R.O.W. with a 5' wide sidewalk on each side separated by a 6' planting strip with medium shade trees and understory plantings not to exceed 18" height. There will be Class II bike paths on both sides of the street.

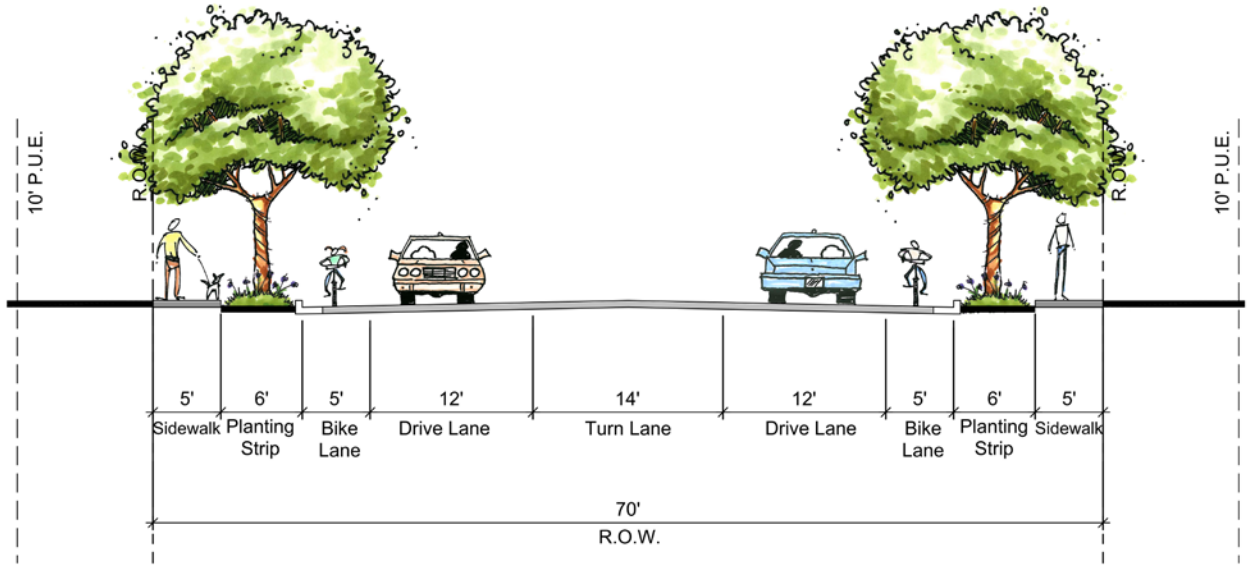


Figure 5.2.3 – 'B' Street - Milo Candini Drive - Section ■■■■■

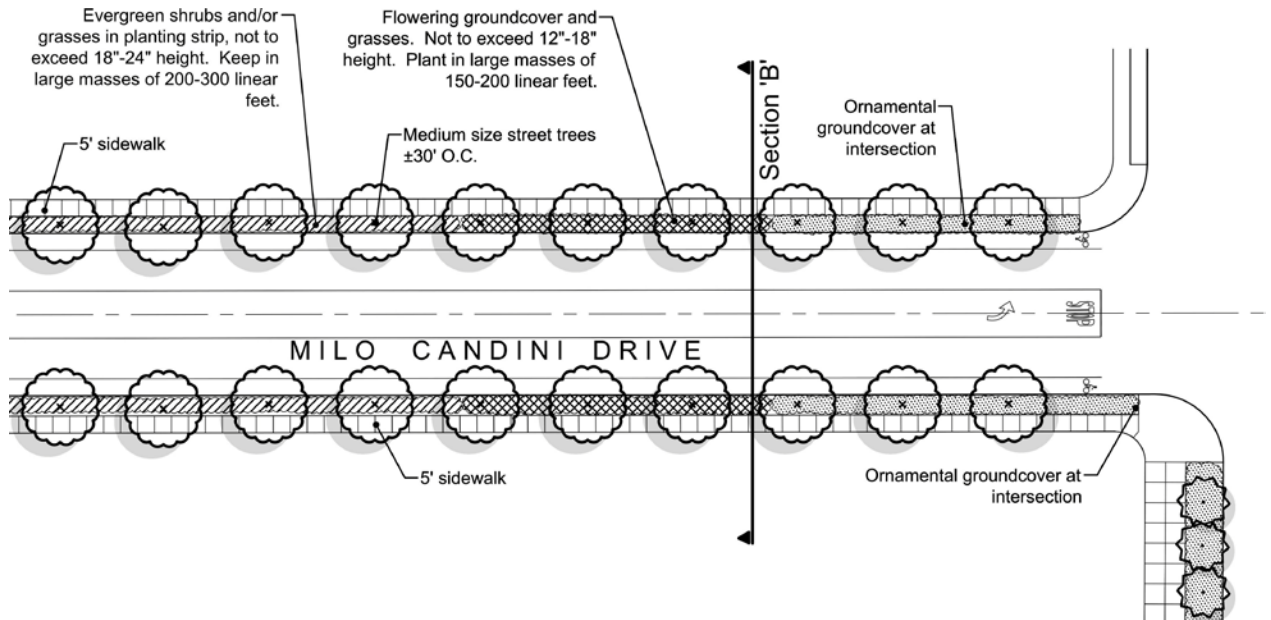


Figure 5.2.4 - 'B' Street - Milo Candini Drive - Plan ■■■■■

### Street 'B1' – Wawona Street

Street 'B1' (extension of future Wawona St.) consists of a 72' R.O.W. with a 10' wide sidewalk on the south side separated by an 11' planting strip with medium shade trees and understory plantings not to exceed 18" height. There will be a 12' Class I bike path on the north side separated by an 11' planting strip with trees and groundcovers not to exceed 18" height.

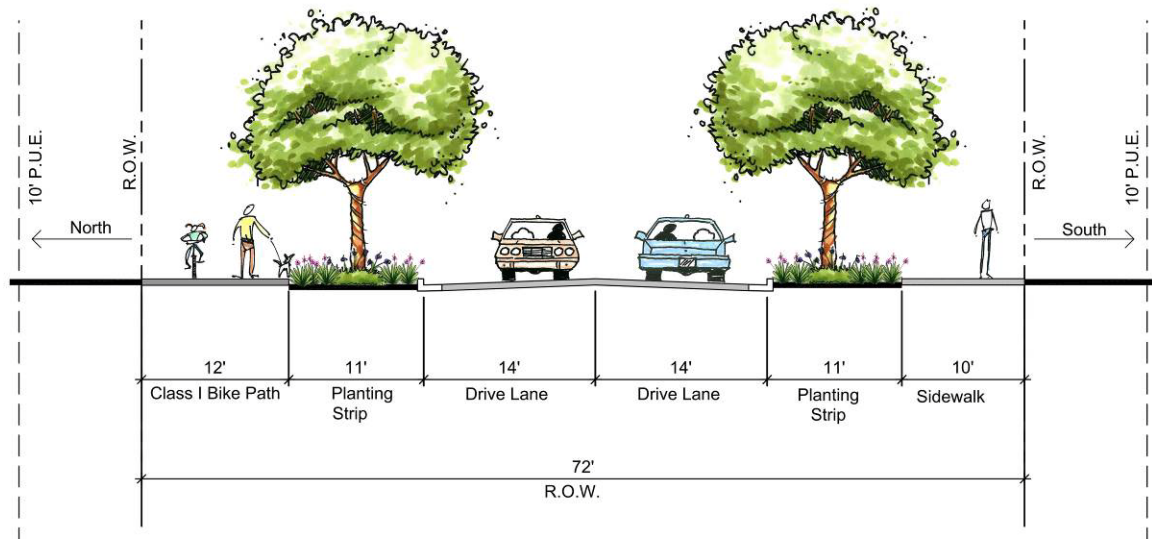


Figure 5.2.5 - Street 'B1' – Wawona Street - Section

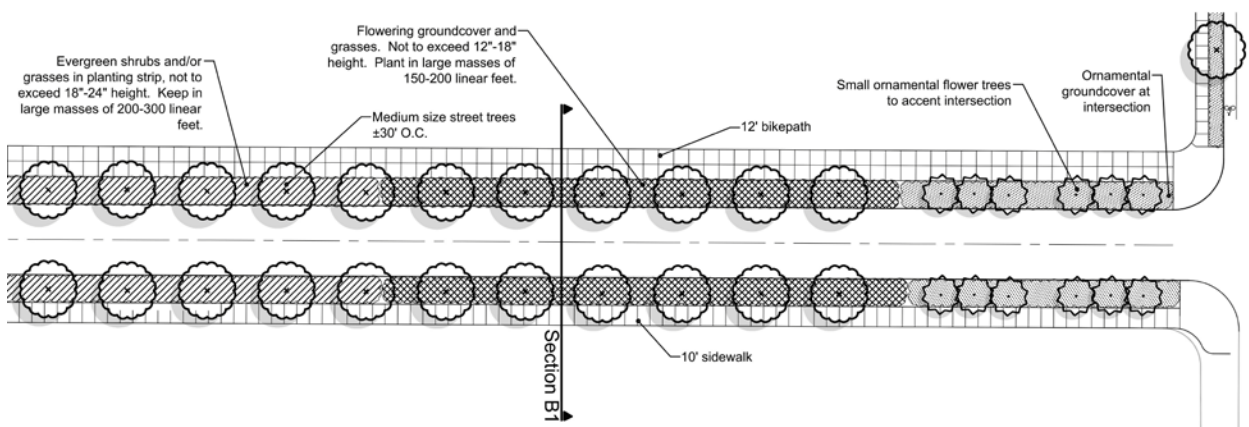


Figure 5.2.6 - Street 'B1' – Wawona Street - Plan

**'C' Street – Loop Road – Between Connector Road and Roundabout**

The Loop Road consists of a 96' R.O.W. and is found in the center of the site with a 14' landscaped median, a 10' sidewalk separated by a 10' planting strip on the 'inside' of the Loop Road, and a 12' Multi-use path separated by an 10' planting strip on the outer side of the road. The plant material will utilize California or Mexican Fan Palms at 20'-25' O.C. in the median with medium size spreading shade trees in the planting strip such as Australian Willow (or appropriate), and grassy understory in large monoculture plantings. There shall be a continuous 24" wide decorative paving strip of pavers or stamped concrete with contrasting color and texture along the median curb. The sidewalk and bike path will abut and join flush with the pedestrian paving and/or landscape of the adjacent land use.

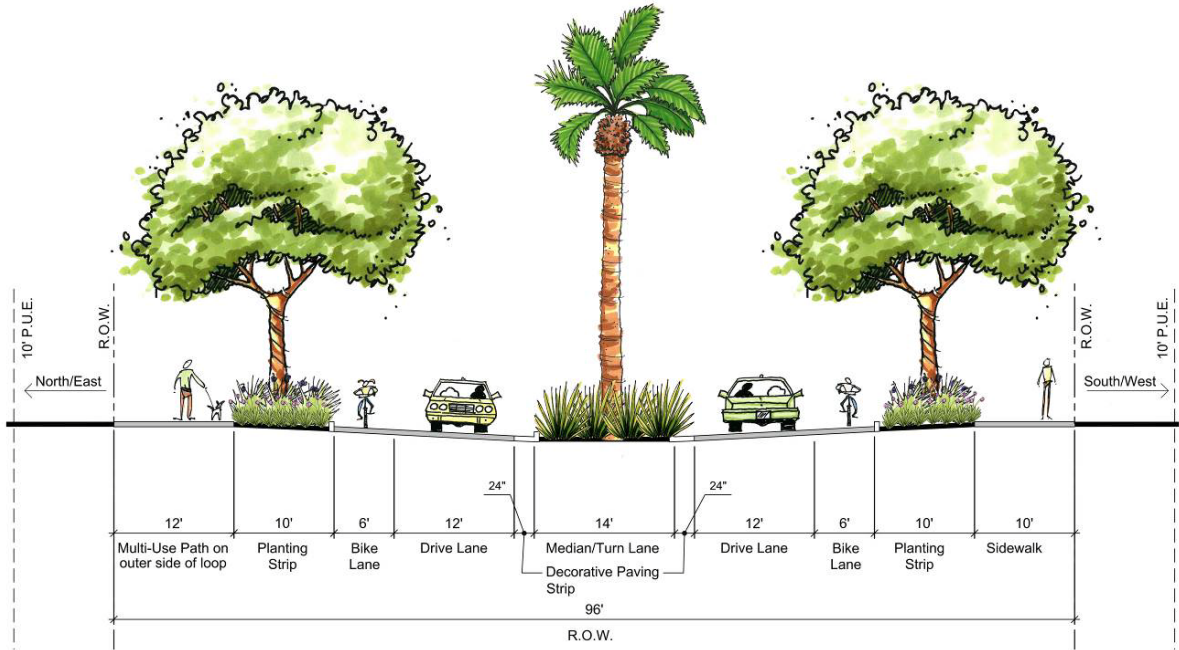


Figure 5.2.7 – 'C' Street - Loop Road – Section - Between Connector Road and Roundabout

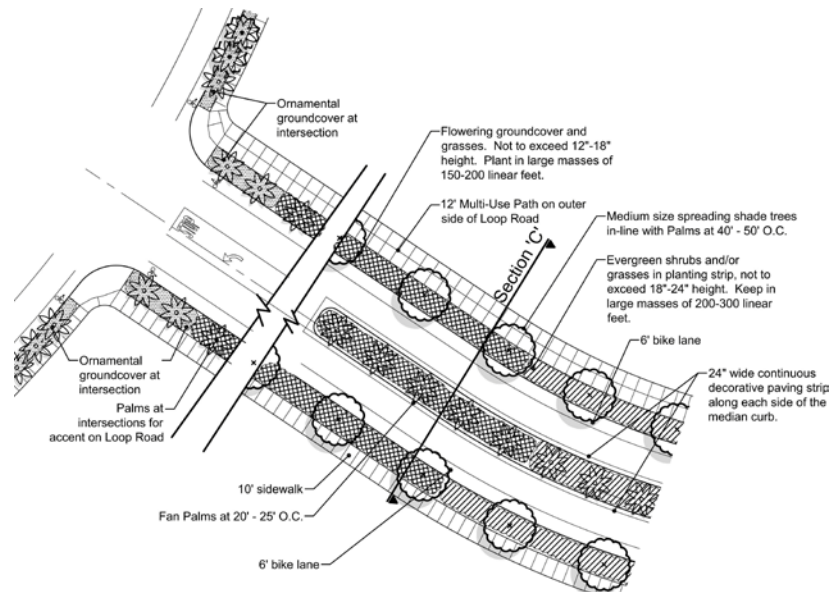


Figure 5.2.8 – 'C' Street - Loop Road – Plan - Between Connector Road and Roundabout

**Family Entertainment Zone**

**Pages 84 and 85 are no longer applicable per Amendment 1 and have been removed from the set.**

**Pages 84 and 85 are no longer applicable per Amendment 1 and have been removed from the set.**

### Street 'C1' – Connector Road with Class II Bikeway

Street 'C1' consists of a 96' R.O.W. with a median/dedicated turn lane to include medium shade trees and shrub plantings, 10' sidewalks on both sides with separated planting strips to have medium shade trees and low shrubs. Class II bike paths on both sides of the street with 6' wide bike lanes. There shall be a continuous 24" wide decorative paving strip of paver or stamped concrete with contrasting color and texture along the median curb. The road width may be reduced per notes as described in Section 3.2, but the landscape shall remain consistent with this exhibit.

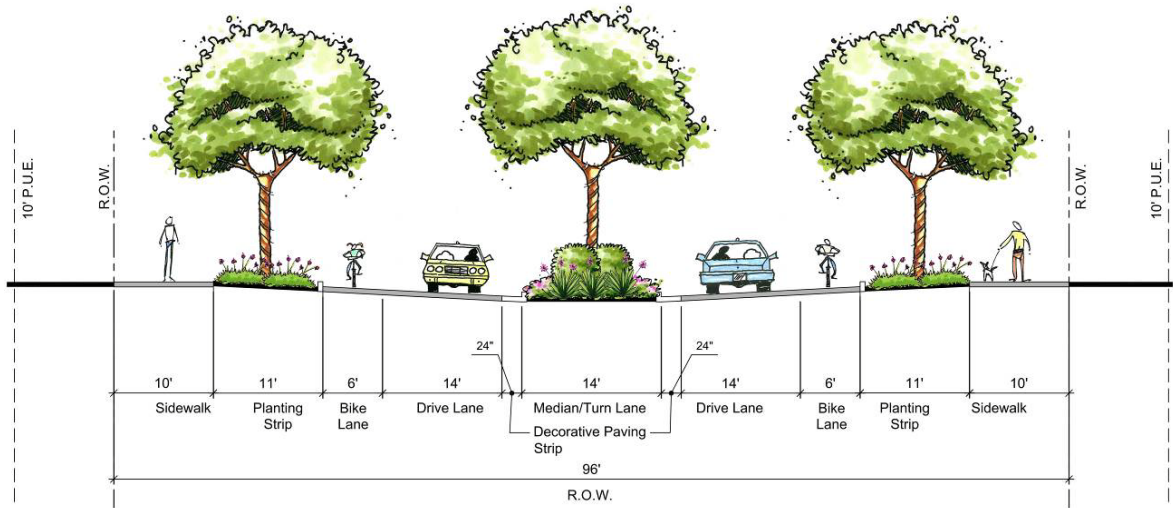


Figure 5.2.11 - Street 'C1' - Connector Road - Section

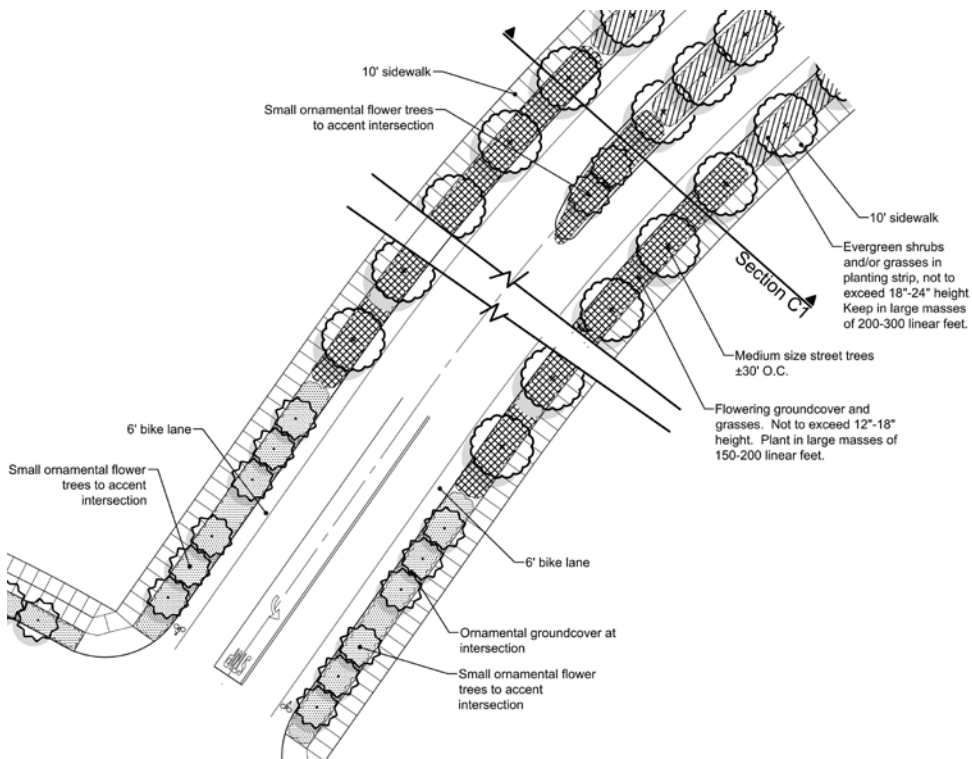


Figure 5.2.12 - Street 'C1' - Connector Road - Plan

### Family Entertainment Zone

### 'D' Street – Buffer Road

'D' Street consists of a 77' R.O.W. It has a 10' sidewalk separated by a planting strip on the south side with large shade trees and shrubs and a continuous undulating 3'- 4' high heavily landscaped berm on the north side of the road with an evergreen vine covered fence or wall at the top of the berm to screen the water treatment facility (see Section 5.4 for fencing and vines). Plantings are to include a variety of evergreen trees and shrubs and broad sweeping masses for screening.

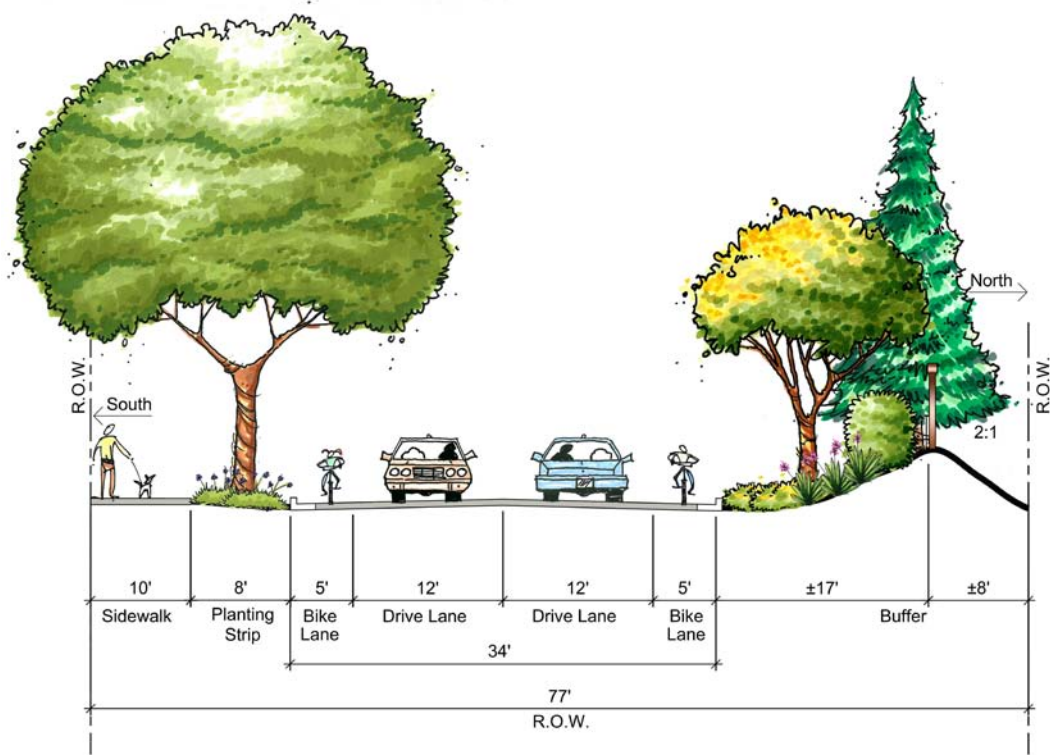


Figure 5.2.13 – 'D' Street - Buffer Road - Section

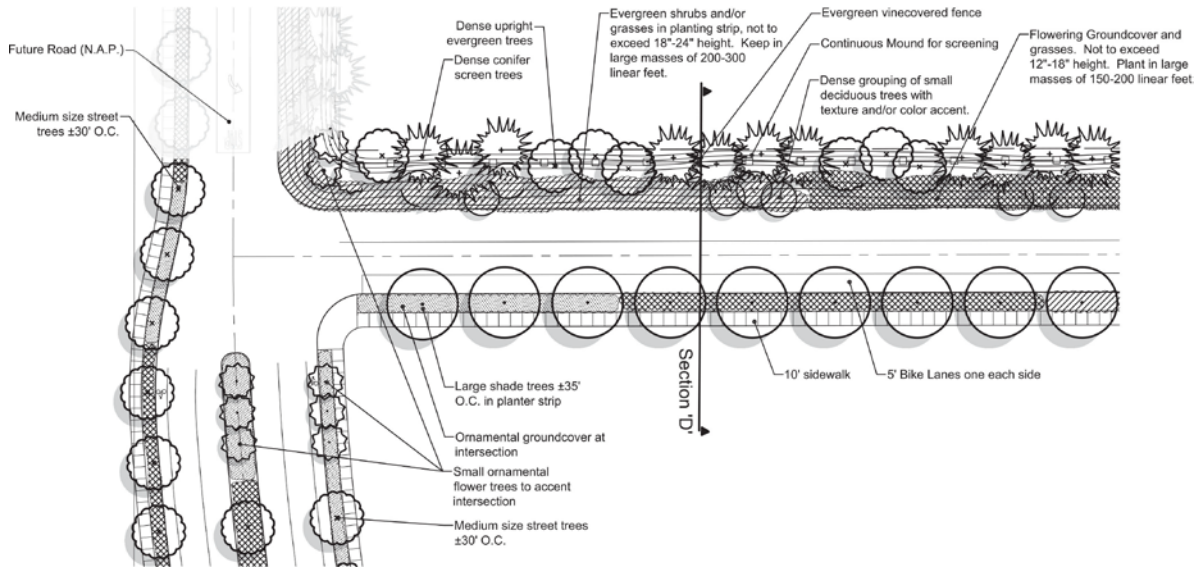


Figure 5.2.14 – 'D' Street - Buffer Road - Plan



### 5.3 Pedestrian-Oriented Public Open Space



The Pedestrian-Oriented Open Space is shown on Figure 5.1.1 and relies heavily on the surrounding architecture to develop its character. It is a key component to the FEZ open space and to the non-vehicular circulation system, and functions to link the various land uses and amenities through the retail areas by using inviting and comfortable pedestrian-scaled spaces that are primarily separate from the vehicular circulation. This space relies on the lake/basin in the center of the site as the primary focus with pedestrian plazas and views radiating off of the center of the lake and into the other venues of the FEZ (see Figure 5.1.2). This area shall meet the following:

#### Requirements

- Enhanced hardscape paving that reinforces the character of the surrounding architecture and creates inviting and dynamic spaces for guests. Enhanced paving may consist of a variety of paving materials such as colored concrete, concrete with tight score joints, tile, pavers, etc.
- Pedestrian crossings of the vehicular ways shall be obvious and logically located and should include enhanced paving and raised traffic calming 'tables' to link pedestrian open space. These crossings shall be located in-line with the radial axis off of the center of the lake/basin (see Figure 5.1.2).
- All pedestrian plazas, walkways, etc. shall meet all ADA, Title 24, and local code requirements.
- Pedestrian-oriented open space shall be primarily hardscape with the inclusion of planted containers, small planting pockets used to accentuate the architecture, seating areas, art, fountains, lighting, and other similar features to create dynamic spaces.
- Site furnishings shall be provided throughout (see Section 5.6).

#### Recommendations

- Outdoor dining may extend into the plazas but should be integrally designed and provide clear circulation throughout.
- Shade elements should be incorporated into the pedestrian-oriented open space where appropriate. These may be part of the architecture or independent structures, but should be consistent with the surrounding architecture.
- Pedestrian-oriented public space should engage the central lake/basin feature with steps, terraces, ramps, etc. Functions within the lake/basin are also a part of the pedestrian-oriented public space.

## 5.4 Fencing

As primarily a public space, the FEZ includes only a limited amount of fencing. Fencing is to be implemented as described in Figure 5.4.1 and per the code requirements of the City of Manteca.

- Railroad Buffer/Screen - Perimeter fence along the Union Pacific rail line shall be installed as 8' high black chain link, at a minimum. The height and location will be required to conform to the requirements of the railroad at the time of submittal as part of final improvement plans. Landscape buffer planting shall be included along that edge and shall be evergreen to provide a year-round buffer/screen.
- Caltrans Fencing - Along the Highway 120 corridor, fencing shall meet City of Manteca standards which requires K-rail with chain-link fence on top, per Public Works Standard ST-36. Landscape along the edge shall be consistent with the requirements of Manteca. This area is not meant to provide a dense screen of landscape. Views are to be allowed through so that travelers along Highway 120 can see the hotel/resort and the FEZ beyond. The described standards provide minimum requirements. Higher quality materials may be used including but not limited to: 6' high black tubular-steel fencing or 6' high masonry fence on top of the required K-rail - high enough to block the view of parked cars, but low enough to allow views to the hotel/resort and FEZ amenities beyond.
- Waste Water Treatment Plant Buffer - Fencing along the Water Treatment facility is to be a 6' high black chain link fence with twining evergreen vines or a 6' high masonry fence with clinging evergreen vines. In either case the fence is to be set on top of the 3'- 4' high heavily landscaped berm. Landscape screening is provided per Figure 5.2.11.
- Stadium Center Buffer – There is an existing chain link fence along the west property line of Costco. That existing fence is to be removed as part of the hotel/resort development. It may be replaced with a maximum 6' tall tubular steel fence (see photos below) painted black or other architecturally compliant color, and extended to the south to intersect with the Caltrans fence at the discretion of the developer of PA-16 or Stadium Center. Fencing is not a required element at this location and is per the review and approval of the Community Development department as part of the Site Plan Review process.

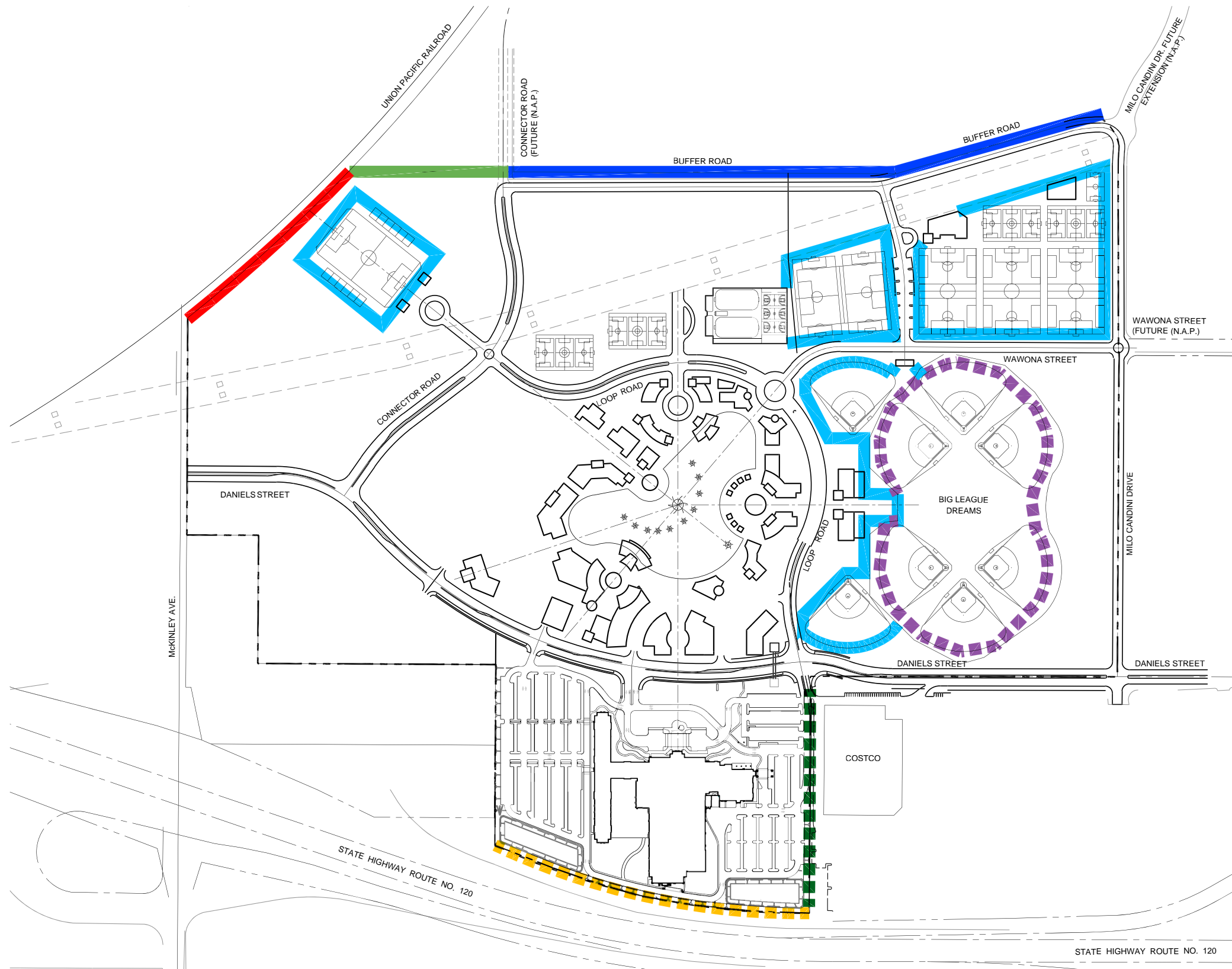
Focused pedestrian and /or vehicular access between FEZ and Stadium Center may be provided at a location approved by the City of Manteca, and adjacent property owners.

- Sport Field Security Fencing - Internal project fencing shall consist of tubular steel and/or black chain link fence as needed to secure the athletic fields for operational purposes. Exact location of the fences shall be determined upon further review of the City of Manteca during Site Plan Application phase. (See Exhibit 5.4.1). Black chain link is allowed for the backstops, dugouts and athletic field support facilities. Perimeter security fencing that may be included around the fields shall be 6' high tubular steel fence – painted black. The inclusion of perimeter fencing is not a requirement and at the discretion of the City / field operators.
- Agricultural Buffer – 6' high black chain link fence with evergreen twining vines.

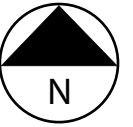


Tubular steel fencing - typical

### Family Entertainment Zone



- Legend**
- RAILROAD BUFFER/SCREEN - Chain link fence with dense perimeter landscape
  - WASTE WATER TREATMENT PLANT BUFFER - Chain link or masonry fence with densely landscaped berm
  - SPORTS FIELD SECURITY FENCING - Upgraded perimeter security fencing
  - Existing perimeter fencing at Big League Dreams
  - CALTRANS FENCING - City of Manteca Public Works Standard ST36
  - STADIUM CENTER BUFFER
  - AGRICULTURAL BUFFER



## 5.5 Street Lighting

Lighting shall be provided as required per the City of Manteca requirements for safe, secure, and well lit streets and pedestrian paths. The street lighting that is shown in Figure 5.5.1 complies with the existing style of street light poles along Daniels Street and Milo Candini Drive and shall be used throughout the FEZ. Poles, arms, and bulb head shall match the existing fixtures as shown in Figure 5.5.2, but luminaires shall be LED as detailed in City Standard ST-27. Street light spacing shall be coordinated with the street tree spacing.

There may also be additional pedestrian-scale and accent lighting that is cohesive with the style of the street lights and reflects a pedestrian scale and adds to the ambiance of the FEZ. These can be bollards and/or pedestrian-scale light poles. There will also be accent lighting associated with the Preliminary and Secondary Entry Features and directional signage. Unobtrusive lighting with soft down-lit pools of light is encouraged. Light poles and fixtures shall match or be similar to those used along Daniels Street east of the FEZ.

Street signage such as street signs, stop signs, bollards (if needed), etc., shall match the type and style of the street lights. Pole color shall be black.

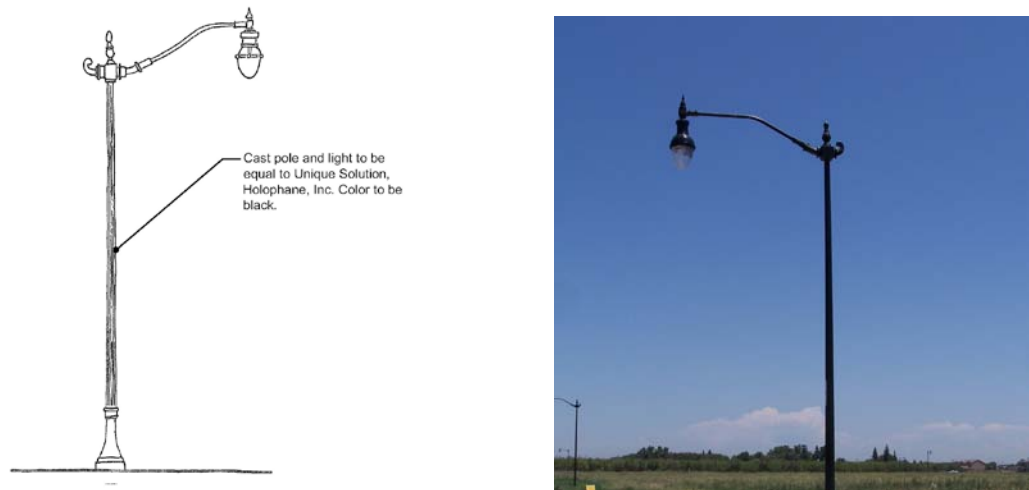


Figure 5.5.1 – Street Lights

On-Site lighting shall comply with MMC and the City of Manteca Public Works requirements. On-site lighting is to be provided throughout the parking and pedestrian-oriented open space and shall be provided through a variety of types such as parking lot lights, pedestrian-scale poles, bollards, wall scones, and accent lighting to create safe pedestrian spaces with a pleasant ambiance. Light fixtures in these areas are to conform to the architectural styles of the architecture (Sections 2.4 and 2.5).

Sport field lighting shall be standard lighting fixtures for sports field uses and is a discretionary element. Public sidewalks and streets are to have their own lighting and cannot rely on sport field lighting.

## 5.6 Security

The safety and security of all visitors to the FEZ is an important aspect of the master plan. In as much, proposals for specific development projects will be reviewed by the Manteca Police Department during the Site Plan Application review process for incorporation of security measures. A variety of security and safety measures are currently available and as technology progresses the products available and means of providing security will also progress. The following are examples of some currently available security features that could be incorporated into the FEZ and individual developments within the FEZ.

- Automatic License Plate Recognition Cameras (ALPR) may be located at the three proposed entrance and exits to the FEZ.
- Video security surveillance systems may be installed in parking lots throughout the FEZ.
- Professional security personnel may be hired by the FEZ that regularly patrol the FEZ and coordinate directly with the Manteca Police Department.

## 5.7 Site Furniture – Public Use

Public-use site furniture is to be provided throughout the FEZ and is to be selected to be in-line with the design theme of Early California while considering the comfort of the users. The public-use site furniture shall be matching throughout the entire FEZ area. Once the initial phases are developed, all remaining phases are to match what has been selected in the first phase unless a change is approved by the Community Development Director. PA-16 will have its own site-specific furniture that is to be approved as part of the Site Plan Application entitlement process. Types of furniture to be included but not limited to: benches, trash receptacles, bike racks, and bollards. Furniture shall be constructed of durable long lasting materials such as steel with a black powder coat paint finish and securely mounted. All furniture shall meet ADA requirements.



Above are examples of the style and color of site furniture

## 5.8 Landscape Irrigation System



The Irrigation system shall be compliant with the City of Manteca Water Efficient Landscape Ordinance (WELO) and the City Public Works and Parks and Recreation Department requirements. As discussed in Section 4 – Infrastructure, the irrigation system in the FEZ is to utilize reclaimed water supplied by the City’s nearby waste-water treatment plant. Public irrigation shall meet the following requirements:

- Irrigation system shall be compliant with the City of Manteca WELO and all other City standards and requirements.
- Irrigation shall tie into the reclaimed water system with meter and backflow prevention per City requirements and state requirements for reclaimed water usage and shall include required signage. There shall be no-cross-connections between reclaimed water system and domestic water systems.
- Irrigation system shall be efficient, durable; shall provide for ease of maintenance; and shall avoid overspray onto hardscape areas.
- The specific phasing and development within the FEZ is not defined at the time the Master Plan is adopted. Therefore a specific phasing of irrigation installation is not possible. Irrigation service connections and irrigation mainline layout and stub-outs shall be designed for logical progression and phasing of the streetscape. The initial phases of streetscape design shall be coordinated with the Parks Dept. for phasing and to provide stubs for future expansion.
- The irrigation controllers shall be compliant with requirements of the City of Manteca Parks Dept., shall be pedestal-mount, and shall be directly adjacent to electrical service panel.
- Plants selected within the reclaimed water zones are to be selected to be hardy for reclaimed water usage.

On-Site irrigation is separate from the Public Right-of-Way irrigation as described above, and shall comply with City of Manteca code requirements and state-mandated Water Efficient Landscape Ordinance (WELO). On-site irrigation shall tie to the reclaimed water system if available and shall meet all requirements of the use of reclaimed water.

Section 6

# Administration and Implementation

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## **Section 6 - Administration and Implementation**

### **6.0 Implementation of the Plan**

The Family Entertainment Zone (FEZ) Master Plan is the mechanism to ensure that all future development within the Plan Area is consistent with the City of Manteca General Plan. The Master Plan will serve as a tool for the City of Manteca to implement the development of the Plan Area. Every effort has been made with the FEZ Master Plan to provide policies and regulations that are specific to the FEZ Plan Area.

If any situation arises in the implementation of the Master Plan that is not addressed by specific development regulations or guidelines or if an issue, condition, or situation arises that is not clearly addressed in the Master Plan, the Community Development Director (“Director”) shall provide an interpretation based on such City codes, goals, policies, plans and requirements as most closely related to the subject matter of the issue or situation to be interpreted.

In some cases the Master Plan standards may conflict with or be more restrictive than the City’s Zoning Ordinance. In these circumstances, the FEZ Master Plan standards and guidelines shall prevail. For any matters not specifically addressed by the Master Plan, the Manteca Municipal Code shall apply and shall be interpreted in a manner that is consistent with the goals and objectives of the FEZ Master Plan.

Subsequent to adoption of the Master Plan, individual project applications will be reviewed to determine consistency with the Master Plan, the FEZ Environmental Impact Report (EIR), and any other applicable City of Manteca regulatory documents. All future applications including but not limited to Site Plans, Tentative Subdivision Maps, and Use Permits within the Plan Area will be subject to the requirements of this Master Plan and EIR.

Development Applications will be submitted to the City of Manteca Community Development Department and subject to the Fee Schedule adopted by City Council. The Community Development Department will conduct an initial review of the application for completeness and consistency with the adopted Master Plan, the FEZ EIR as well as other ordinances and standards. The Community Development Director may require additional studies and/or analyses that may include but not limited to: traffic and infrastructure studies.

The Community Development Director, acting upon any application that is determined to be complete shall process each individual project subject to entitlement processing as defined in the City’s Municipal Code, Title 17, Zoning.

If the City determines that an Amendment to the Master Plan is warranted, an Amendment to the Master Plan may be requested in accordance with section 6.2, Amendments. The request must provide adequate justification.

### **6.1 Adoption of the Master Plan**

The FEZ Master Plan will be adopted by ordinance by the Manteca City Council. Adoption makes the land uses and development standards of this Master Plan regulatory in nature.

The Master Plan establishes specific development standards which may differ from those contained in the City of Manteca Zoning Code. The alternative standards of the Master Plan shall supersede those established by the Zoning Ordinance and apply to the development of property within the Plan Area. Where not otherwise specified by the Master Plan, the use and development of property shall be governed by zoning applicable to that property and the regulations in the City of Manteca Zoning Ordinance.



## **6.2 Amendments**

### **6.2.1 Scope of Amendments**

Amendments to the adopted Master Plan should be categorized as either minor or major. This determination is to be made by the Community Development Director or his/her designee. Minor amendments, modifications, or exceptions can be reviewed and acted upon by the Community Development Director. Those amendments considered major will be processed as set forth below in 6.2.3. Prior to filing an application to amend the FEZ Master Plan, applicants shall meet and confer with the Planning Division to discuss the scope of proposed amendment(s) and for a determination of the amendment process.

### **6.2.2 Minor Amendments**

An amendment shall be considered a minor amendment when it is determined that it does not have a significant impact on the character of the plan or on the environment. A Master Plan Amendment application fee established by City Council shall accompany any applications for minor amendment. The Community Development Director or his/her designee shall administratively make a written determination as to whether or not a requested amendment is major or minor. If the Community Development Director determines that a requested amendment is minor, the Director shall either (1) approve the application, (2) approve the application with conditions or modifications (3) deny the application or (4) defer to Planning Commission. The Director's decision may be appealed to the Planning Commission following the procedures of the City of Manteca Municipal Code.

The following are examples of what could be considered minor amendments:

- Changes in the configuration of Master Plan land use which neither alters the relationship to other land uses nor compromises the concept and principles of the Master Plan.
- Minor changes to land uses which result in changes in building area, minor acreage change of land uses, or other changes altering land uses, which do not significantly affect the key planning concepts set forth in the Master Plan.
- Changes to alignments that do not substantially alter the intended land use or circulation framework set forth in the Master Plan.
- The relocation or reconfiguration of park or open space that is not less in acreage than the specified minimums, and does not compromise the park and open space concept set forth in the Master Plan.
- Changes to design requirements that do not substantially change the physical character of The FEZ as envisioned in the Master Plan.
- Modifications to informational material contained in the FEZ Master Plan that does not have regulatory effect.

#### **Application Requirements for Minor Amendments:**

Applications for minor amendments shall be submitted to the Community Development Department. The materials and documents necessary to process a minor amendment application should be consistent with those outlined in the City of Manteca Checklist for Amendments. A detailed justification statement shall be submitted which explains in detail why an amendment to the Master Plan is warranted. Applications for minor amendments are subject to processing fees adopted by City Council.

### **6.2.3 Major Amendments**

The following are examples of what could be considered major amendments:

- Introduction of a new type of land use not specifically discussed in the Master Plan.
- Significant changes to the collector street system that would substantially alter the land use or circulation concepts set forth in the Master Plan.
- Changes to design guidelines and/or development standards.
- Any change to the Master Plan that could increase environmental impacts.

#### **Application Requirements for Major Amendments:**

Applications for major amendments shall be submitted to the Community Development Department. The form and type of application (e.g. Zoning Text Amendment, General Plan Amendment, Environmental Assessment, etc.) required shall be determined after preliminary consultation with the Planning Division. The materials and documents necessary to process a major amendment application should be consistent with those outlined in the City of Manteca Checklist for Amendments, or otherwise required by the Planning Division. A detailed justification statement shall be submitted which explains in detail why an amendment to the Master Plan is warranted. Applications for major amendments are subject to processing fees adopted by City Council.

## **6.3 Master Plan Phasing Scenario**

Development of The FEZ will depend on market conditions and demand. The plan for infrastructure as provided in Section 4 - Infrastructure allows for development to occur in phases to respond to the market conditions and demand. Although a specific phasing plan for the FEZ has not been developed – phases will be driven by market demand at time of implementation - the following is a description of a conceptual phasing scenario of the FEZ Planning Areas (see Figure 6.3.1):

### **6.3.1 Phase 1:**

It is preliminarily envisioned that Phase 1 development will include:

- A 500 room hotel including 30,000 square feet of conference/meeting/exhibition facility with 37,500 square feet of restaurant (food and beverage) space, community space, general retail, party rooms and related game rooms. Also will include a 75,000 square foot indoor multi-level waterpark.
- The extension of Daniels Street, in a westerly direction to connect to McKinley Avenue in the “T” intersection. Daniels Street will extend from its current terminus at the southeast corner of the property, in a westerly direction, providing access to the proposed hotel and conference center site to the south, and to the Retail, Dining and Entertainment District of the FEZ to the north (PA-4 and PA-5).
- The service entrance to the northwest corner of the Stadium Shopping Center will be reconfigured to provide navigable truck turning movements into the rear of that parcel.
- Main Vehicular Entrance: The FEZ project will have its main vehicular entrance on Daniels Street, located northwest corner of the Stadium Shopping Center.
- A man-made lake or basin.

### **6.3.2 Phase 2:**

- Partial construction of Buffer road and landscape along the northern edge of the overall property, north of Planning Areas 12 and 15.
- The extension of Wawona Street in a westerly direction, along the north side of the existing BLD complex, connecting to the FEZ loop road in a southwesterly direction, providing a view into the lake at the center of PA-5.
- PA-1: The development of 11.8 acre PA-1, with new multi-purpose turf playfields. The plan has been conceptualized such that three International Soccer Fields and two U-12 size fields would be provided, along with one U-8 size field at the northeast corner of the parcel. Alternately, the International Soccer Fields could be divided into two U-12 youth soccer fields, yielding a total of eight U-12 play fields, with the one U-8 size field. In addition, minor facilities for rest rooms, maintenance, storage and administrative offices may be provided in the parcel. PA-1 would be provided vehicular access by the extension of Milo Candini Dr. from its current terminus at the NE corner of Big League Dreams to the NE corner of FEZ (straight North).
- PA-15: Parking for the play fields would be offered through the build-out of a parking lot in PA-15, a 3.1-acre area, located in the PG&E right-of-way.
- PA-2, a 7.6-acre parcel lying to the west of PA-1, would provide additional multi-purpose playfields: two U-12 and two U-13 sized youth soccer fields.
- PA-14: A portion of the PA-14 parking lot would be constructed at this time, to serve parking needs of players and guests.
- PA-1a and PA-1b: The construction of two new ball fields to the west of the existing Big League Dreams complex.

### **6.3.3 Phase 3:**

- PA-3, including the following:
  - The FEZ entry archway that spans across Daniels Street, under which vehicles will drive to access the FEZ.
  - Food and beverage enterprises that frame an east-west walkway that is aligned on axis with the existing Big League Dreams complex, extending in a westerly direction, toward the center of the FEZ. This serves as a vital connection between the existing sports facilities and the FEZ. Buildings are expected to be one to two stories tall.
  - The FEZ loop road starting north of Daniels Street situated east of PA-5 to the proposed roundabout at Wawona Street.
  - Additional restaurants at the northeast corner of Daniels Street and a new loop road that will wrap around the core of the FEZ.
  - Shared surface parking that may serve retail/restaurants in PA-3 and the two new BLD ball fields (PA-1a and PA-1b, included in Phase 1 description above).

### **6.3.4 Phase 4:**

- PA-4, including the following:
  - “Main Street Retail” framing a pedestrian plaza and walkway that runs in a north-south direction, providing a visual and pedestrian connection to PA-16 that lies to the south.
  - Additional restaurants at the northeast corner of Daniels Street and a new loop road that will wrap around the core of the FEZ.

- PA-5, including the following:
- Initial partial build out of the Dining, Retail and Entertainment Village. Leasable space is envisioned to include stores, small shops, cafes, restaurants, and bistros.
- The FEZ loop road will frame PA-5 like a “horseshoe” on its east, north, and west sides.

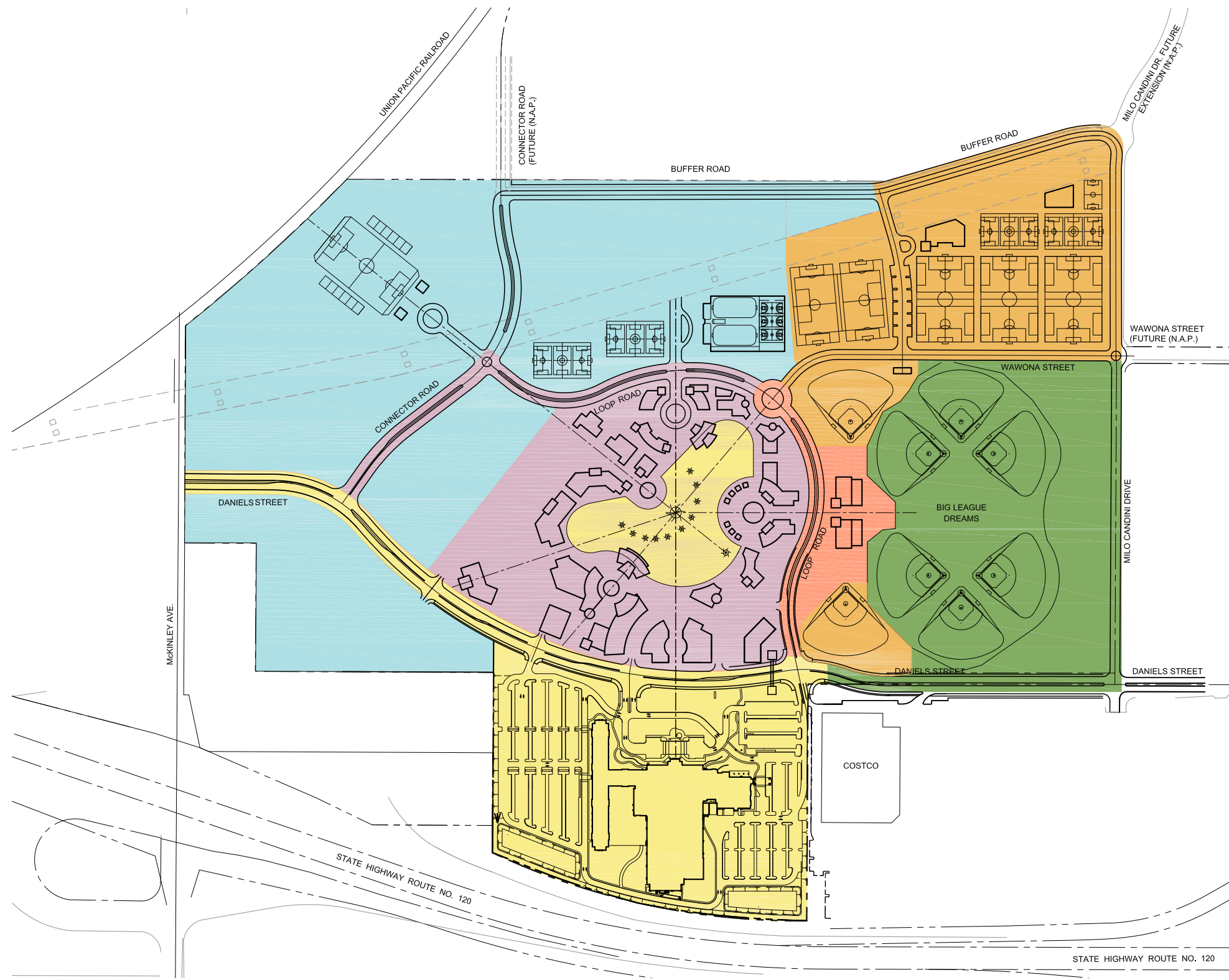
### **6.3.5 Future Phases:**

Before any portion of a Future Phase PA can be approved a schematic site plan of the entire PA shall be prepared and submitted for review by the City. Schematic shall show how proposed site plan will provide for and integrate with the remainder of the PA for cohesive circulation, parking, development area and required open space.

- PA-6 occupies the southwestern most parcel, abutting residential lots to its west, and vacant land to its south. This parcel is intended to serve as expansion for the family entertainment offerings.
- PA-6 (portion) occupies the southwest corner of the street connection to McKinley Avenue. It is envisioned that a tourism and visitor center would be provided along with a potential relocation site for the Manteca Convention and Visitors Bureau, as well as a small bus terminal and temporary bus parking for tours connecting to Yosemite and the Sierras.
- PA-7 flanks Daniels Street, to its northeast. It also flanks the FEZ loop road, to its west.
- PA-8 incorporates an Indoor All-season Sports and Exhibition Center, and will be located to the north of the FEZ loop road, between Parcels 2 and 7. It is bordered by the PG&E power line right-of-way to its north.
- PA-9 is also bordered by the PG&E power line right-of-way to its north. It abuts McKinley Avenue to its west, and is slated for FEZ expansion.
- PA-10 is a continuation of FEZ expansion, and it’s situated to the north of PA-9, to the north of the PG&E power line right-of-way.
- PA-11 is situated on a northwest axis from the heart of the FEZ, the lake, and is situated in the far northwest corner of the property, to the north of the PG&E power line right-of-way.
- PA-12 is also located to the north of the PG&E power line right-of-way. It spans the majority of the northern boundary of the overall property, abutting a boundary road with a set-aside landscape buffer, and then the WQCF to the north. The property is envisioned to serve as an outdoor sports zone.
- PA-13, PA-14, and PA-15 comprise the PG&E right-of-way that stretches diagonally across the property in a west/southwest- east/northeast direction. These planning areas are reserved strictly for shared parking for the entire FEZ property. Setbacks will be established to protect the PG&E towers.
- The North buffer road with access to Milo Candini Drive shall be in place prior to the development of PA’s 11 and 12, or an alternative vehicle exit shall be provided north of the power lines that is acceptable to the Fire Department.

### **6.3.6 Build Out and Phasing:**

Construction will have several phases, depending on market conditions and the availability of financing. It is currently anticipated that the timeframe for the construction is 8-12 years. Infrastructure extensions will be made, as needed, to service the constructed portions of the project.



**Legend**

- Existing Facilities
- Phase 1
- Phase 2
- Phase 3
- Phase 4
- Future Phases

See Section 6.3 for Improvements associated with each Phase



## **6.4 Master Plan Compliance and Enforcement**

The Community Development Director is responsible for enforcing the provisions of the Manteca Municipal Code Title 17 and the Master Plan. The regulatory elements of the Master Plan are enforceable pursuant to the enforcement requirements of the Manteca Municipal Code.

### **6.4.1 Landscape Maintenance**

The public landscape components of The FEZ are critical elements of the community vision and feel. The maintenance of all common outdoor recreation space and public open space, as well as landscape easements will be funded through an Association established by the FEZ master developer and/or the City of Manteca. The establishment and preservation of a long term, viable maintenance plan is a key component for the Project. Therefore, the City will maintain the right to assume landscape maintenance responsibilities in the case of neglect or default by, or at the request of, the FEZ Association. If City assumes maintenance responsibility, the property owners shall be responsible for all costs associated with said maintenance. Funding shall be provided by the property owners through the establishment of a Community Facilities District or other financing mechanism and include funds for the administration along with replacement costs. Final method of maintenance financing mechanism shall be approved by City of Manteca.

Formation of one or more Community Facilities Districts (CFD) is also anticipated for the FEZ. The objective in forming CFDs is to provide financing for public improvements associated with the project, which may supplement funds available from former redevelopment bond proceeds.

## Appendix A: Allowed Use Definitions

The following list represents the complete list of allowed uses and corresponding definitions as used in Table 2.0.1 (Permitted and Conditionally Permitted Uses). Individual use classifications describe one or more uses having similar characteristics, but do not list every use or activity that may appropriately be within the classification.

1. Local public service and utilities. Infrastructure required to serve the FEZ including pump stations, and basins;-and other communication infrastructure.
2. Temporary buildings and uses.
  - a. Structures and uses incidental to a construction operation on the same or an adjoining parcel provided such structures and uses are of a temporary nature and do not exist for a period longer than twelve (12) months, unless such time period is extended by the Community Development Director;
  - b. A festival, exhibit, or other similar activity
  - c. Seasonal or holiday uses, exhibits or buildings (e.g. tree lots, pumpkin patch, photo booths, etc.)
  - d. Temporary use permits are required when required by City Ordinance
3. Accessory uses (when located on the same parcel as the principal use). Minor buildings or structures found in connection with the principal use for the maintenance of buildings and grounds including restroom facilities, maintenance and minor administrative offices and equipment storage;
4. Agricultural Tourism. Agricultural based operation or activity that is established to attract visitors. This includes a visitor center.
5. Community Garden. A site used for growing plants for food, fiber, herbs, or flowers, which is shared and maintained by city residents.
6. Equestrian Facility. Equestrian facilities including horse ranches, boarding stables, riding schools and academies, horse exhibition facilities (for shows or other competitive events)and barns, stables, corrals, and paddocks accessory and incidental to these uses.
7. Kennel, Dog Training Facility. Facilities that provide boarding of animals as the primary use of the facility. May also include daytime boarding and activity for animals (e.g., doggy day care) and ancillary grooming facilities. Also see Animal Sales and Grooming. This does not include Dog Parks which is not a permissible use.
8. Hotel and Lodge including recreational facilities and convention center. Includes accessory guest facilities such as swimming pools, tennis courts, indoor athletic facilities, accessory restaurant and retail use, etc. when clearly provided for the convenience of the hotel/lodge patrons.
9. Assembly Uses. Including but not limited to the following uses:
  - a. Meeting facilities for organizations including facilities for business associations, civic, social, and fraternal organizations, labor unions and similar organizations, political organizations, professional membership organizations, and other membership organizations;
  - b. Churches and other religious institutions, including living quarters for ministers and staff, but excluding other establishments maintained by religious organizations such as educational institutions and day care, which are separately regulated; and
  - c. Community centers and other multipurpose meeting and recreational facilities that include one or more meeting or multipurpose facilities, kitchens, and outdoor barbecue

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### Family Entertainment Zone

facilities available for use by various groups for meetings, parties, receptions, dances, etc.

10. Indoor Amusement/Entertainment Facility. Establishment providing indoor amusement and entertainment services for a fee or admission charge, including dance halls and ballrooms and electronic game arcades, as primary uses. Four or more electronic games or coin-operated amusements in any establishment, or premises where 50 percent or more of the floor area is occupied by amusement devices, are considered an amusement device arcade as described above; three or less machines are not considered a land use separate from the primary use of the site.
11. Indoor Fitness and Sports Facility. Predominantly participant sports and health activities conducted entirely within an enclosed building. Typical uses include bowling alleys, billiard parlors, ice/roller skating rinks, indoor racquetball courts, indoor climbing facilities, soccer areas, basketball and volleyball courts, cheerleading and gymnastics, athletic clubs, and health clubs. This use does not include special studios not a part of an athletic or health club (e.g., karate studio, dance studio, etc.).
12. Outdoor Commercial Recreation. Facility for various outdoor participant sports and types of recreation where a fee is charged for use (e.g., amphitheaters, amusement and theme parks, golf driving ranges, miniature golf, rock climbing and ropes course, health and athletic club with outdoor facilities, miniature golf courses, skateboard parks, BMX race/stunt course, stadiums and coliseums, swim and tennis clubs, water slides).
13. Outdoor Community Recreation. Facility for various outdoor participant sports and types of recreation provided by the community and typically located in public parks and open space areas.
14. Park and Public Plaza. Public parks include playgrounds and athletic fields/courts and public plazas and outdoor gathering places for community use. If privately owned and restricted to the public (e.g., require payment of fee), the same facilities are included under the definition of Outdoor Commercial Recreation.
15. Recreational Vehicle Park. A site where one or more lots are used, or are intended to be used, by campers with recreational vehicles or tents. Recreational vehicle parks may include public restrooms, water, sewer, and electric hookups to each lot and are intended as a higher-density, more intensively developed use than campgrounds. May include accessory retail uses where they are clearly incidental and intended to serve RV park patrons only.
16. Resource-Related Recreation. Facility related to passive recreation in open space areas including bicycle and pedestrian trails, picnic areas, parking areas, and interpretive centers.
17. School, Specialized Education and Training/Studio. Specialty schools for instructing and training students in a variety of specialized programs, including, but not limited to, the following:
  - a. Computers and electronics training schools;
  - b. Drama schools;
  - c. Driver educational schools;
  - d. Language schools;
  - e. Music schools;
  - f. Professional, vocational, and trade schools of a non-industrial nature (e.g., culinary, cosmetology, arts and media, accounting and finance, health and dental including nursing, legal, psychology, and technology); and

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## **Family Entertainment Zone**



- g. Studio-style facilities including, but not limited to, dance/ballet, art, photography, yoga, martial arts (e.g., karate, kung fu, judo, tae kwon do, jujitsu), and fitness studios other than indoor fitness and sports facilities.
18. Theater/Auditorium. Indoor facility for public assembly and group entertainment, other than sporting events (e.g., civic theaters, facilities for “live” theater and concerts, exhibition and convention halls, motion picture theaters, auditoriums). Does not include outdoor theaters, concert and similar entertainment facilities, and indoor and outdoor facilities for sporting events; see Outdoor Commercial Recreation.
19. Parking Facility. A parking lot or parking structure used for parking motor vehicles where the facility is the primary use of the site. Parking structures and lots that are developed in conjunction with another primary use of the site to satisfy the on-site parking requirements for the development are not included in this definition. Parking structures may be not be allowed in all areas, such as underneath power lines – coordination with the governing regulatory agency will govern this sort of minor discrepancy.
20. Public Safety Facility. Facility operated by public agencies including fire stations, other fire prevention and firefighting facilities, and police and sheriff substations and headquarters, including interim incarceration facilities.
21. Child Day Care Center. A commercial or nonprofit facility that provides nonmedical care and supervision of minor children for periods of less than 24 hours for an individual child. The facility is typically able to accommodate 15 or more children. Such facilities include, but are not limited to, infant centers, preschools, sick child centers, day care centers, and school-age child-care centers. These may be operated in conjunction with a school or church facility, or as an independent land use. Also includes employer-sponsored child-care centers.
22. Neighborhood Market. A pedestrian-oriented grocery/specialty market store offering food products packaged for preparation and consumption away from the site of the store and oriented to the daily shopping needs of surrounding residential areas. Neighborhood markets are less than 50,000 square feet in size and operate less than 18 hours per day. Neighborhood markets may include deli or beverage tasting facilities that are ancillary to the market/grocery portion of the use. For larger stores, see Grocery Store/Supermarket.
23. Office, Business and Professional. This use listing includes offices of administrative businesses providing direct services to consumers (e.g., insurance companies, utility companies, management consulting), banks and financial institutions, government agency and service facilities (e.g., post office, civic center), professional offices (e.g., accounting, attorneys, employment, public relations), and offices engaged in the production of intellectual property (e.g., advertising, architectural, computer programming, photography studios). This use does not include temporary offices, or offices that are incidental and accessory to another business or sales activity that is the primary use.
24. Personal Services. Establishments providing nonmedical services as a primary use, including, but not limited to, barber and beauty shops, clothing rental, dry cleaning pickup stores with limited equipment, home electronics and small appliance repair, laundromats (self-service laundries), shoe repair shops, and tailors. These uses may also include accessory retail sales of products related to the services provided, spas and hot tubs for rent, and tanning salons.
25. Restaurants, Cafes, Eating and Drinking Establishments A retail business selling food and beverages prepared and/or served on the site, for on- or off-premise consumption. Includes eating establishments where customers are served from a walk-up ordering counter for either on- or off-premise consumption and establishments where most customers are served food at

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## Family Entertainment Zone

tables for on premise consumption, but may include providing food for take-out. Also includes coffee houses and accessory cafeterias as part of office and industrial uses.

26. Drive-In and Drive-Through use. A facility such as a restaurant that is designed to accommodate patrons in their automobiles.
27. Bar/Nightclub. Any bar, cocktail lounge, discotheque, or similar establishment, which may also provide live entertainment (e.g., music and/or dancing, comedy) in conjunction with alcoholic beverage sales. These facilities do not include bars that are part of a larger restaurant. Includes bars, taverns, pubs, and similar establishments where any food service is subordinate to the sale of alcoholic beverages. May also include the brewing of beer as part of a brewpub or microbrewery. Bars and nightclubs may include outdoor food and beverage areas.
28. Retail, General. Stores and shops selling multiple lines of merchandise. These stores and lines of merchandise include, but are not limited to, art galleries, bakeries (all production in support of on-site sales), clothing and accessories, collectibles, department stores, drug and discount stores, dry goods, fabrics and sewing supplies, florists and houseplant stores, furniture, general stores, gift shops, hardware, hobby materials, musical instruments, parts and accessories, newsstands, pet supplies, specialty shops, sporting goods and equipment, stationery, and variety stores.
29. Equipment Sales and Rental. Service establishments with outdoor storage/rental yards, which may offer a wide variety of materials and equipment for rental that complements the recreational uses of the specific facility or is used for light-duty personal or family recreational usage (e.g., recreational equipment such as but not limited to bikes, kayaks, hiking and camping equipment). Sales and rental of heavy equipment and construction equipment is not allowed.
30. Educational, cultural, institutional, and recreational uses serving the greater community, such as but not limited to;
  - a. Art galleries and museums. Public or quasi-public facilities including aquariums, arboretums, art exhibitions, botanical gardens, historic sites and exhibits, libraries, museums, and planetariums, which are generally noncommercial in nature;
  - b. Library;
31. Auto and Vehicle Rental. A facility that rents out automobiles and other vehicles for short periods of time.
32. Residential. A dwelling or location where people live. Including but not limited to single-family dwelling, duplex, apartment building, townhome, mobile home, and/or condominium.
33. Broadcasting and Recording Studio. Commercial and public communications uses including radio and television broadcasting and receiving stations and studios, with facilities entirely within buildings. Does not include transmission and receiving apparatus such as antennas and towers, which are under the definition of Wireless Telecommunication Facility.
34. Wireless Telecommunication Facility. Facility designed and/or used for the purpose of transmitting, receiving, or relaying voice and/or data signals from various wireless communication devices, including transmission tower, antenna, and/or other facility designed or used for that purpose. Telecommunication facilities are divided into two types as follows:
  - a. Wireless Telecommunication Facility – Major. A communication facility that is a freestanding ground-mounted facility, is a structure or roof-mounted facility that is more than 10 feet above the structure roof line, and is not specifically identified as a minor facility below. Examples include, but are not limited to, the following:
    - i. Telecommunication towers (cellular towers);
    - ii. Satellite earth station (SES) antennas that are more than 2 meters in diameter; and

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## **Family Entertainment Zone**

- iii. Parabolic antennas, direct broadcast satellite (DBS) antennas, and multi-point distribution service (MDS) antennas that are more than 1 meter in diameter.
- b. Wireless Telecommunication Facility—Minor. Any wireless communication facility that is either (1) operated exclusively as part of a public safety network, or (2) specifically exempt from local regulation by state or federal law or rule [e.g., by permit of the California Public Utilities Commission (CPUC) or the rules and regulations of the Federal Communication Commission (FCC)]. Examples include, but are not limited to, the following:
  - i. Amateur radio transmission facilities which comply with the standards of Chapter 17.88 (Wireless Telecommunication Facilities);
  - ii. Satellite earth station (SES) antennas that are 2 meters in diameter or less;
  - iii. Parabolic antennas, direct broadcast satellite (DBS) antennas, and multi-point distribution service (MDS) antennas that are 1 meter in diameter or less;
  - iv. Television broadcast service (TVBS) antennas; and
  - v. Collocation on an existing major telecommunication structure, so long as the collocation facility satisfies all requirements set forth in Section 65850.6 of the California Government Code.
- 35. Man-made Lake, basin, and recreational facility – Amenitized water feature that may be designed as an aesthetic feature and/or a passive recreation area as well as potential irrigation and storm water run-off storage facility. It may also allow for functions such as paddle boats, kayaks, canoes, fishing, etc. Waterfalls and/or fountain jets are allowed.

## Appendix B – Master Plant List

The plants in the following Appendix are an example of plant species that are approved and are provided in groupings of characteristics. It is the responsibility of the landscape architect to select correct species and cultivars for the intended use, potential growth, sun/shade exposure, water use, etc. This is just a list of approved plants, but it does not replace a knowledgeable designer. Design must still meet code and master plan requirements. Additional appropriate plant species are encouraged may be approved.

TREES						
SPECIES		USES				
BOTANICAL NAME	COMMON NAME	PARKING LOT SHADE	STREET TREES	SCREEN TREE	ACCENT TREE	GENERAL LANDSCAPE USES
<i>Acer palmatum</i>	Japanese Maple				x	x
<i>Acer rubrum</i> 'Sunset'	Sunset Red Maple		x		x	x
<i>Arbutus</i> 'Marina'	NCN			x	x	x
<i>Carpinus betulus</i> 'Fastigiata'	Pyramidal European Hornbeam		x			x
<i>Celtis sinensis</i>	Chinese Hackberry	x				x
<i>Cercidium</i> 'Desert Museum'	Palo Verde			x	x	x
<i>Cercis occidentalis</i>	Western Redbud				x	x
<i>Chaemaerops humilis</i>	Mediterranean Fan Palm				x	x
<i>Cupressus sempervirens</i>	Italian Cypress				x	x
<i>Lagerstroemia fauriei</i>	Crape Myrtle				x	x
<i>Laurus nobilis</i> 'Saratoga'	Saratoga Laurel		x	x		x
<i>Liquidambar styraciflua</i> 'Rotundiloba'	American Sweetgum		x	x		x
<i>Magnolia grandiflora</i>	Southern Magnolia		x	x		x
<i>Magnolia soulangeana</i>	Saucer Magnolia				x	x
<i>Nyssa sylvatica</i>	Tupelo		x		x	x
<i>Olea europaea</i> 'Swan Hill'	Fruitless Olive			x	x	x
<i>Pinus canariensis</i>	Canary Island Pine		x	x		x
<i>Pinus pinea</i>	Italian Stone Pine			x	x	x
<i>Pistacia chinensis</i> 'keith davey'	Chinese Pistache	x	x			x
<i>Platanus acerifolia</i>	London Plane tree	x	x			x
<i>Podocarpus gracilior</i>	Fern Pine			x	x	x
<i>Prunus blireiana</i>	Purple Leaf Plum				x	x
<i>Quercus agrifolia</i>	Coast Live Oak		x	x		x
<i>Quercus coccinea</i>	Scarlet Oak	x	x			x
<i>Quercus ilex</i>	Holly Oak			x		x
<i>Quercus virginiana</i>	Southern Live Oak		x	x		x
<i>Rhus lancea</i>	African sumac			x	x	x
<i>Sequoia sempervirens</i>	Coast Redwood		x			x
<i>Sophora japonica</i> 'Regent'	Japanese Pagoda Tree				x	x
<i>Trachycarpus fortunei</i>	Windmill Palm				x	x
<i>Ulmus parvifolia</i> 'True Green'	Chinese Evergreen Elm	x	x			x
<i>Ulmus X frontier</i>	Frontier Elm	x	x			x
<i>Washingtonia filifera</i>	California Fan Palm		x		x	x
<i>Washingtonia robusta</i>	Mexican Fan Palm				x	x
<i>Zelkova serrata</i> 'Village Green'	Village Green Zelkova	x	x	x		x

### Family Entertainment Zone

LARGE SHRUBS				
SPECIES		USES		
BOTANICAL NAME	COMMON NAME	EVERGREEN	FLOWERING	LOW WATER USE
<i>Berberis thunbergii atropurpurea</i>	Barberry			x
<i>Callistemon viminalis</i>	Bottlebrush	x	x	x
<i>Camellia sasanqua</i>	Camellia var. (TBD)	x	x	
<i>Ceanothus 'Julia Phelps'</i>	Wild Lilac	x	x	x
<i>Cotoneaster lacteus</i>	Cotoneaster		x	x
<i>Escallonia fradesii</i>	Escallonia	x	x	
<i>Feijoa sellowiana</i>	Pineapple Guava	x	x	x
<i>Juniperus species</i>	Juniper	x		x
<i>Leonotis leonurus</i>	Lion's Tail	x	x	x
<i>Leucophyllum frutescens</i>	Texas Ranger	x	x	x
<i>Loropetalum chinensis</i>	Chinese Fringe Flower	x	x	
<i>Nerium oleander</i>	Oleander	x	x	x
<i>Pittosporum tobira 'Variegata'</i>	Variegated Mock Orange	x	x	
<i>Photinia x fraseri</i>	Photinia	x		x
<i>Podocarpus macrophyllus</i>	Long-leaf Yellow-wood	x		
<i>Prunus caroliniana 'Bright 'N Tight'</i>	Compact Caroline Laurel Cherry	x		x
<i>Prunus ilicifolia ilicifolia</i>	Hollyleaf Cherry	x		x
<i>Prunus laurocerasus 'Otto Luyken'</i>	Otto Luyken English Laurel	x		
<i>Raphiolepis indica 'Jack Evans'</i>	Jack Evans Indian Hawthorn	x	x	
<i>Thuja occidentalis</i>	American Arborvitae	x		
<i>Xylosma congestum 'Compactum'</i>	Shiny Xylosma	x		x

MEDIUM SHRUBS				
SPECIES		USES		
BOTANICAL NAME	COMMON NAME	EVERGREEN	FLOWERING	LOW WATER USE
<i>Abelia grandiflora</i>	Glossy Abelia	x		
Agave Species	Century Plant	x		x
<i>Arctostaphylos densiflora</i> 'Howard Mc	Howard McMinn Manzanita	x	x	x
<i>Berberis thunbergii</i> 'Crimson Pygmy'	Crimson Pygmy Barberry		x	x
<i>Buxus microphylla japonica</i>	Japanese Boxwood	x		
<i>Callistemon viminalis</i> 'Little John'	Dwarf Bottlebrush	x	x	x
<i>Cistus purpureus</i>	Orchid Rockrose	x	x	x
<i>Dietes vegeta</i>	Fortnight Lily	x	x	x
Euphorbia species	Euphorbia	x	x	x
<i>Gaura lindheimeri</i>	Gaura	x	x	
<i>Ilex crenata</i>	Japanese Holly	x		
<i>Juniperus species</i>	Juniper	x		x
<i>Lantana montevidensis</i>	Lantana	x	x	
<i>Lavandula</i>	Lavender	x		
<i>Ligustrum japonicum</i> 'Texanum'	Texas Privet	x		
<i>Mahonia repens</i>	Oregon Grape	x	x	x
<i>Myrica californica</i>	Pacific Wax Myrtle	x		x
<i>Myrtus communis</i> 'Compacta'	Dwarf Myrtle	x		x
<i>Nandina domestica</i>	Heavenly Bamboo	x		
<i>Nerium oleander</i> 'Petite Salmon'	Dwarf Oleander	x	x	x
<i>Olea europaea</i> 'Little Ollie'	Little Ollie Olive	x		x
<i>Pittosporum tobira</i> 'Wheeler's Dwarf'	Wheeler's Dwarf Mock Orange	x		
<i>Plumbago auriculata</i>	Cape Plumbago	x	x	
<i>Rhaphiolepis indica</i> 'Ballerina'	Ballerina Indiana Hawthorn	x	x	x
<i>Rosa floribunda</i> (etc.)	Rose	x	x	
<i>Rosmarinus officinalis</i>	Rosemary	x	x	x
<i>Salvia greggii</i>	Autumn Sage	x	x	x
<i>Salvia species</i>	Sage	x	x	x
<i>Spiraea bumalda</i>	Spiraea	x		
<i>Zauschneria californica</i>	California Fuchsia	x	x	x

GRASSES OR GRASS-LIKE				
SPECIES		USES		
BOTANICAL NAME	COMMON NAME	EVERGREEN	FLOWERING	LOW WATER USE
Agapanthus africanus	Lily-of-the-Nile	X	X	X
Calamagrostis a. 'Karl Foerster'	Feather Reed Grass	X		
Carex species	Sedge	X		
Cordyline australis	Cordyline	X		
Dietes vegeta	Fortnight Lily	X	X	X
Festuca species	Fescue	X		
Helictotrichon sempervirens	Blue Oat Grass	X		X
Hemerocallis Evergreen var.	Evergreen Daylily	X	X	X
Iris germanica	Bearded Iris	X	X	X
Liriope gigantea	Giant Lilyturf	X	X	
Miscanthus sinensis	Maidenhair Grass			
Muhlenbergia species	Deer Grass/Muhly	X		
Nassella Tenuissima	Mexican Feather Grass	X		
Pennisetum species	Fountain Grass			
Phormium species	New Zealand Flax	X		
Tulbaghia violacea	Society Garlic	X	X	X
Yucca species	Yucca	X		X

VINES				
SPECIES		USES		
BOTANICAL NAME	COMMON NAME	EVERGREEN	FLOWERING	LOW WATER USE
Clematis species	Clematis		X	
Clytostoma callistegioides	Violet Trumpet Vine	X	X	
Distictis buccinatoria	Blood-Red Trumpet Vine	X	X	X
Ficus pumila	Creeping Fig	X		
Hardenbergia violacea	Lilac Vine	X	X	
Jasminum species	Jasmine	X	X	
Macfadyena unguis-cati	Cat's Claw	X	X	X
Parthenocissus tricuspidata	Boston Ivy			
Trachelospermum jasminoides	Star Jasmine	X	X	
Wisteria chinensis	Wisteria		X	

## Family Entertainment Zone

GROUNDCOVER				
SPECIES		USES		
BOTANICAL NAME	COMMON NAME	EVERGREEN	FLOWERING	LOW WATER USE
<i>Acacia redolens</i>	Acacia	X	X	X
<i>Agapanthus africanus</i> 'Queen Anne'	Lily-of-the-Nile	X	X	X
<i>Ajuga reptans</i>	Carpet bugle	X		
<i>Arctostaphylos uva-ursi</i>	Bearberry/ Trailing Manzanita	X		X
<i>Armeria maritima</i>	Sea Thrift	X	X	
<i>Ceanothus</i> species	Wild Lilac/Carmel Creeper	X	X	X
<i>Coprosma pumila</i> 'Verde Vista'	Mirror Plant	X		X
<i>Cotoneaster</i> 'Lowfast'	Bearberry	X	X	X
<i>Delosperma cooperi</i>	Ice Plant	X	X	
<i>Dymondia margaretae</i>	Dymondia	X	X	
<i>Festuca ovina</i> 'Glauca'	Blue Fescue	X		X
<i>Fragaria chiloensis</i>	Beach Strawberry	X	X	
<i>Hermerocallis</i> species	Daylily	X	X	X
<i>Juniperus horizontalis</i>	Juniper	X		X
<i>Mahonia aquifolium</i>	Oregon Grape	X	X	X
<i>Myoporum parvifolium</i>	Myoporum	X		
<i>Rosmarinus officinalis</i>	Rosemary	X	X	X
<i>Rosmarinus</i> o. 'Huntington Carpet'	Huntington Carpet Rosemary	X	X	X
<i>Scaevola</i> 'Mauve Clusters'	Scaevola	X	X	
<i>Sedum</i> species	Stonecrop	X		X
<i>Stachys byzantina</i>	Lamb's Ear	X		
<i>Teucrium lucidrys</i> 'Prostrata'	Germander	X	X	X
<i>Thymus</i> species	Thyme	X	X	X
<i>Trachelospermum asiaticum</i>	Asian Jasmine	X		
<i>Trachelospermum jasminoides</i>	Star Jasmine	X	X	
<i>Vinca minor</i>	Dwarf Periwinkle	X	X	