

Yosemite Square 2022

Master Plan and Design Guidelines

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Section 1 - **PROJECT SITE AND INTRODUCTION**

1.1 Overview

This Master Plan and Design Guidelines document has been provided to establish the development and design standards for the Yosemite Square 2022 Master Plan area within the framework of City of Manteca standards and requirements. The goal is to assure a high-quality project that meets the development objectives of the City and the desire to create a valuable asset to the community through the development of a high-quality, livable community.

This document provides specific development standards to be followed for the development of Yosemite Square 2022. This document is intended to provide direction and not stifle creativity of the development of the Yosemite Square 2022 Master Plan area.

These guidelines and standards shall be applied to all development within the project boundary to ensure the project develops as a cohesive community. Once the Master Plan has been approved, it shall be implemented. Development shall be consistent with the Master Plan, the City of Manteca Municipal Code (Zoning Code), and all applicable City standards and specifications. Where the Master Plan provides specific direction, it shall take precedence, where it is silent, the Zoning Code shall apply.

The Master Plan and design guidelines is provided in six sections:

- Section 1 – Introduction – Provides background of the project, adjacency, and goals and vision for the project.
- Section 2 - Land Use – Shows the residential lots, streets, and open space. Also provides information about conformance with City zoning, setbacks, and home placement on the lots.
- Section 3 - Architecture – Overall design direction, character, and style of the proposed homes with description of materials.
- Section 4 - Circulation – Vehicular and non-vehicular connections through the site and connectivity to the rest of the City of Manteca. This section includes the street cross sections.
- Section 5 - Community – This section provides guidelines for development of the project as a whole. It establishes the community identity through the design of walls and fences, entries, landscape (streetscape), and other community elements such as signage, lighting, and cluster mailboxes.
- Section 6 - Administration and Implementation

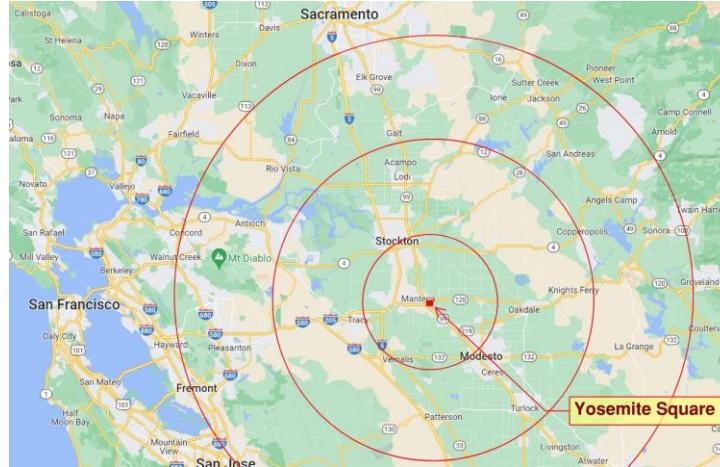
Zoning Document – Once approved, the Yosemite Square 2022 Master Plan and Design Guidelines document will be the zoning document for the project area. This Master Plan provides specific allowances for permitted land uses (see Table 2.2) as well as providing the allowable design of the permitted land uses within the project area.

- This design standards and guidelines document references regulations in the Zoning Code. Where the Zoning Code is referenced, the Zoning Code that is in place at the time of a project development submittal shall be used.
- Where this design standards and guidelines document is silent on any issue, the applicable standard in the Zoning Code in place at the time of a project development submittal shall be used.
- The submittal process of a specific project development shall follow the process and requirements as spelled out in the Zoning Code and as directed by the City of Manteca. Home plans, elevations, materials and all other documents required by the Development Services Department shall be submitted in accordance with City standard processes.
- Off-site improvement plans such as streetscapes and any other City/CFD-maintained landscape shall follow the standard improvement plan submittal and approval process of the City of Manteca and shall be subject to City standards and specifications.

1.2 Location

Yosemite Square 2022 is situated at the eastern edge of the City of Manteca, in the heart of the Central Valley. The Plan Area is proximate to the interstate highway system including Highway 99, Highway 120, and Interstate 5. The location of the Plan Area near major interstate highway linkages provides direct access to large metropolitan areas of the State including Sacramento, San Francisco and Los Angeles. The Plan Area has direct access to recreational opportunities of the San Joaquin Delta and the Sierra Nevada mountains.

Yosemite Square 2022 is designed to provide quality homes and community amenities in south Manteca.



Location Maps

1.3 Existing Land Use

The proposed Yosemite Square 2022 Master Plan Area is within the City of Manteca’s city limits and has a land-use designation of High Density Residential (HDR), Medium Density Residential (MDR), Low Density Residential (LDR), and Business Industrial Park (BIP). The Plan Area remains largely in agricultural use with large underdeveloped parcels and a few ranchettes/ residences situated along Austin Road. The agricultural uses include a mix of orchard farming, vineyards and fallow fields. The topography of the Plan Area is basically flat. Currently, the main access to the Plan Area is provided by Austin Road.

Surrounding land uses include the El Rancho mobile home park, the ACT Trucking facility and a variety of other commercial uses including Manteca RV to the north along Yosemite Avenue. Highway 99 borders the Plan Area along the west and Austin Road along the east. Additional agricultural uses border the property to the south and agricultural and a few ranchettes across Austin Road to the west.

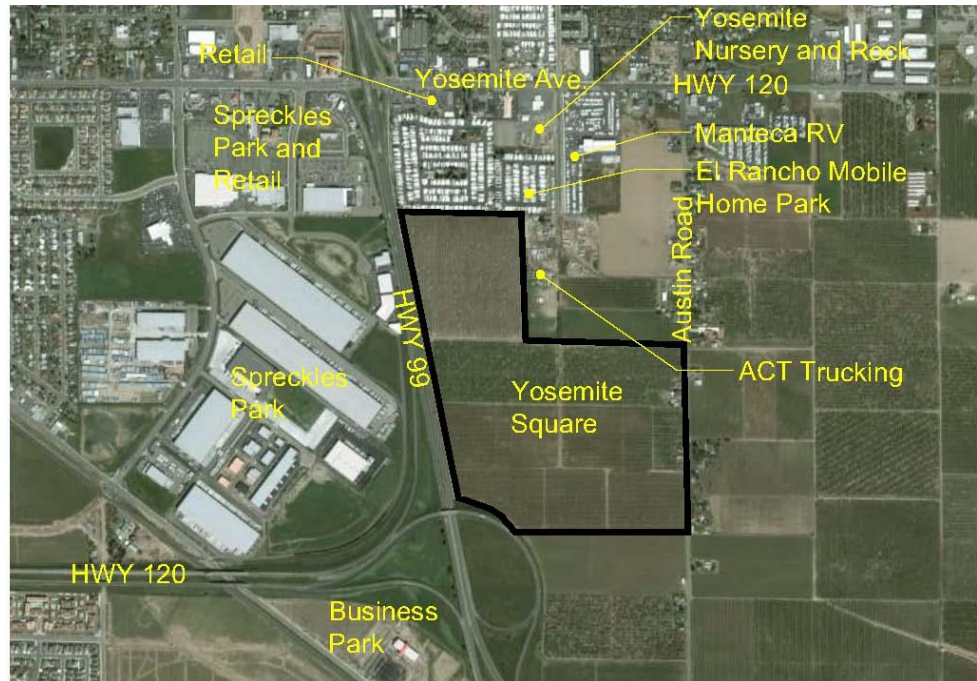


Figure 1.3 – Existing Land Uses

1.4 Existing Improvements

The Plan Area primarily consists of agricultural lands and uses. There are five existing residences situated along Austin Road that lie outside the Plan Area. Although these residences lie within Manteca's city limits, they are currently served by individual septic and well systems and are not tied to city-maintained utility infrastructure. It is anticipated that these residences will remain and the Plan incorporates provisions that acknowledge the long-term use of these properties and opportunity to integrate with the Plan Area over time including the provision of services.

The South San Joaquin Irrigation District (SSJID) currently serves the agricultural properties with water and maintains several easements within the Plan Area for the purpose to convey irrigation water. There is a network of irrigation related improvements to serve the existing orchards. The irrigation improvements will be discontinued upon development and irrigation infrastructure will be abandoned.

Electric service is currently provided by overhead transmission lines within the Plan Area adjacent to Austin Road.

1.5 Existing Circulation & Access

There are no existing improved on-site public or private roadways within the Plan Area, as the site currently and historically has been utilized for agricultural purposes. Austin Road borders the eastern edge of the Plan Area with approximately 2,000 linear feet of frontage.

Future access to the Plan Area will be provided by Austin Road that provides a direct link from the Plan Area to the existing Austin Road interchange at Highway 99, a vital north-south freeway that links the Central Valley. Austin Road also provides access to Yosemite Avenue / Highway 120 that leads to the heart of downtown Manteca and also provides access to Highway 99 with an existing interchange at Yosemite Avenue / Highway 99.



Figure 1.5 – Existing Circulation and Access Map

1.6 Context and Vision

Yosemite Square 2022 provides for a continuation of Manteca's high quality of life and family-centric residential character. The goal of the project is to create an extension of an existing community that embraces the quality of traditional central valley lifestyle while still providing necessary housing inventory for existing and future residential needs. The overall lots are smaller than traditional lots in Manteca, but this new lot size still allows for detached single-family homes while addressing the growing housing needs in the City and the State as a whole.

The Yosemite Square 2022 Master Plan includes a comprehensive land plan with design standards and guidelines to guide the development of approximately 137.5 acres of property. The 2022 Master Plan is a rezoning of the site and is accompanied by an amendment to the General Plan land use designations. The new land-use designations offer a range of lot and housing types and sizes.

The east side of the site will retain the low density residential (LDR) designation with lots that are predominately 55'x90' (5.9 DU/ac) and 50'x105' (5.2 DU/ac). The rest of the project site is medium density residential (MDR) with lots that are predominately 47'x70' (8.7 DU/ac), 46'x75' (8.2 DU/ac), and 50'x80' (6.8 DU/ac).



Site Context Plan

Project Information

Project size:	137.5± acres
Net Acreage	110.8± (after dedications)
Proposed Lots	797
Density	7.19 DU/acre
Existing Zoning designation:	MP Master Plan
Proposed Zoning Designation:	MP Master Plan
Existing Land Use Designation:	MP / HDR, MDR, LDR, BIP
Proposed Land Use Designation:	MP / MDR, LDR
Existing Land Use:	Home site, row crops, orchard
Proposed Land Use:	Single Family Homes (Residential)
Assessor's Parcel Number	228-020-32, 33, 37, & 40



Aerial photo of the site in conjunction with southeast Manteca



Project aerial – Existing conditions

1.7 Plan Adoption and Regulation

The Yosemite Square 2022 Master Plan will be adopted by the City Council by ordinance and will serve as a tool for the City of Manteca to implement the General Plan and Zoning designations. The 2022 Master Plan supersedes the previously approved Master Plan. The adoption of the Master Plan Ordinance will take effect 30 days after the second reading of the ordinance. The 2022 Master Plan will be used by designers, developers, builders, planners, and regulators to guide development of the Plan Area. The land use, development concepts, design guidelines and standards are provided to ensure that all development remains consistent with the vision established by the Yosemite Square 2022 Master Plan as the project is built over time. The Master Plan development concepts, design guidelines, and standards are in accordance with the City's General Plan, Municipal Ordinances, and City Standard Plan & Specifications. The Master Plan shall be used to review, process, and approve development proposals for the Plan Area including but not limited to tentative subdivision maps, site specific development applications and site improvement plans.

1.8 Relationship to the General Plan

The City of Manteca General Plan 2023 was adopted by City Council in October 2003. General Plan 2023 serves as the guiding policy document for the City of Manteca. The Yosemite Square 2022 Master Plan has been prepared to guide comprehensive development of the Plan Area in conformance with the goals and policies established in the General Plan.

Yosemite Square 2022 implements the City's goals as expressed in the City of Manteca General Plan. The following objectives, from the City of Manteca General Plan, are provided for in the Yosemite Square 2022 Master Plan and Design Guidelines:

- Provide for an in-fill development that does not extend beyond the urban edge and fits within the existing surrounding land use.
- Create a livable, walkable, and safe neighborhood that has a distinct sense of community and place.
- Create inviting and neighborly streetscapes that promote walking and neighbor interaction as well as links to the regional pedestrian and non-vehicular circulation.
- Encourage high quality architecture and community design.

Section 2 - **LAND USE**

2.1 Project

The Yosemite Square 2022 Master Plan provides a comprehensive land use planning tool that will be used to implement the City of Manteca General Plan and guide development of approximately 137.5(±) acres. The intent of the Master Plan is to implement the City's General Plan in a way that ensures a quality built-environment that is thoughtful in neighborhood design and feel, and integrates a mix of residential and landscape uses.

The Yosemite Square 2022 land use plan shown in Figure 2.1 and Table 2.1 includes a mix of uses including low and medium density residential, as well as a neighborhood park and an extensive network of streetscape spaces with separated pedestrian sidewalks. The Plan provides for a large 8.4 acre dual-use neighborhood park and storm water storage basin located near the center of the plan area. This park basin will serve the entire Plan Area and be a valued addition to the City of Manteca park system.

To promote and encourage pedestrian and bicycle access, an enhanced right-of-way with a separated multi-purpose concrete path is provided along the internal project collector streets that link to Austin Road and the rest of Manteca. With this type of landscape / open space element along with enhanced entry features at Austin Road for both Street 'H' and Street 'M', the Yosemite Square 2022 Plan creates a distinct and inviting neighborhood.

To ensure that the vision is implemented over time, Section 3 provides development standards and guidelines for architecture and Section 5 provides standards and guidelines for the common areas of the street, neighborhood park, and the linear streetscape lots.

The development standards and guidelines are intended to work in conjunction with the City's Zoning ordinance. In some cases, the Master Plan standards may conflict with or be more restrictive than the City's Zoning Ordinance. In these circumstances, the Yosemite Square 2022 Master Plan standards and guidelines shall prevail. Any regulations not contained or illustrated in the Master Plan are deferred to the regulations in the City of Manteca Zoning Ordinance.



Figure 2.1 – Proposed Land-Use

Lot Configuration		
	Minimum Lot Area (square feet)	3,200
	Maximum Lot Coverage ³	60%
X	Minimum Lot Width ¹ , Interior Lots	46'
Y	Minimum Lot Width ¹ , Corner Lots	51'
	Minimum Lot Frontage along Public Streets (knuckles) ⁴	35'
Setbacks		
A	Minimum Front ² Setback to Garage	20'
B	Minimum Front ² Setback to Living Area	12'
	Minimum Front ² Setback to Porch or Entry	10'
C	Minimum Side Setback to Public Street (corner lot)	10'
D	Minimum Side Setback to Lot Line (adjacent Lot)	4'
E	Minimum Rear Setback to Living Area	10'
F	Minimum Rear Setback to Covered Patio	10'
	Maximum Building Height	35'
	Projections into yards are per the MZC ⁵	
	Parking shall be provided per the MZC	

1. Lot width and depth shall be measured as defined in the Manteca Zoning Code (MZC)
2. Front lot line shall be determined per the Manteca Zoning Code
3. Lot coverage shall be calculated per the Manteca Zoning Code
4. Lot width for knuckle lots shall be measured at the front yard setback line
5. Encroachments/projections into required yards shall be per the Manteca Zoning Code

Table 2.1 – Development Standards

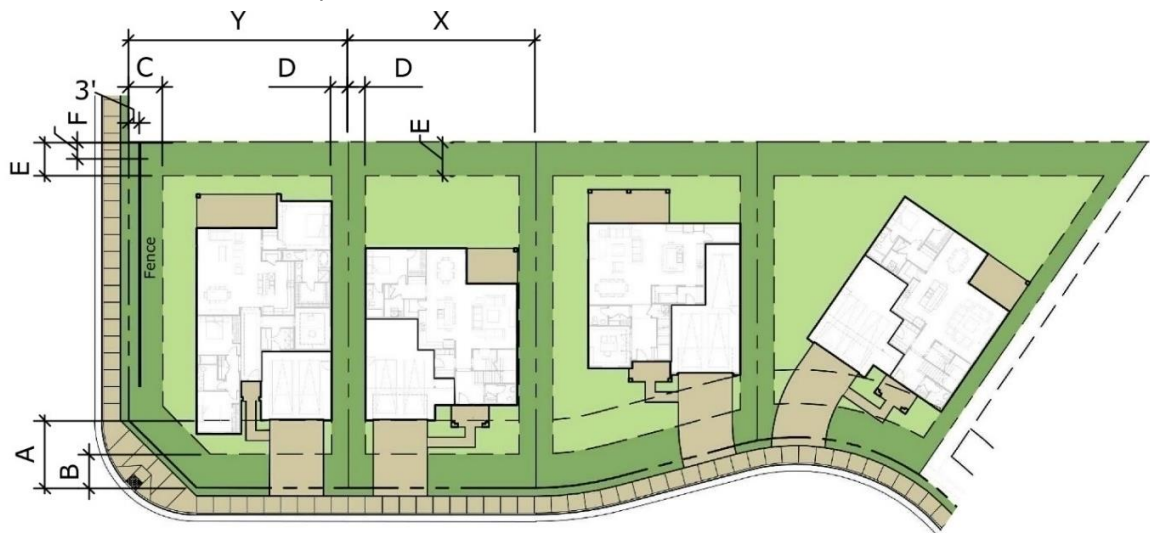


Figure 2.1.1 – Lot Configuration and Setbacks Plan

Permitted Uses

Table 2.2 below identifies allowed uses and corresponding requirements for planning entitlements for the Yosemite Square 2022 Master Plan area. Definitions for the land uses listed below are provided in Chapter 17.24 (Allowed Use Definitions) of the Manteca Municipal Code (MMC). In the table below, an “A” indicates that the land use is permitted by right, a “C” indicates that the land use is permitted in the designated zoning district upon issuance of a Conditional Use Permit [pursuant to Section 17.10.130 (Conditional Use Permit)]. Uses not shown in the table are not permitted.

Allowed Uses within Yosemite Square 2022
Adult Day Care Home- A
Dwelling, Second Unit (ADU)- A
Dwelling, Single-Family- A
Family Day Care Home, Small- A
Home Occupations (subject to section 17.78)-A
Residential Care Home-A
Animal Keeping, Domestic Pet-A
Community Garden-A
Outdoor Community Recreation- A
Park and Public Plaza-A
Utility Facility and Infrastructure-A
Wireless telecommunication Facility-Minor-A
Wireless telecommunication Facility- Major-C
Child Day Care Center-C

Table 2.2 – Allowed Uses

Section 3 - ARCHITECTURE

3.1 Overview

This section focuses on the overall appearance of the homes and to set the expectation that the proposed project area will provide quality architecture and comply with the design goals and policies of the General Plan. The goal of the project (as described in Section 1.6) is to create a livable community that uses a variety of materials and colors to reflect the character of Manteca. These guidelines express desired character, which in combination with the Landscape Guidelines, conveys the overall Yosemite Square 2022 essence and provides a pedestrian-friendly community of neighborhoods. Homes within Yosemite Square 2022 shall be developed with several different architectural styles and these guidelines encourage variation in building form, materials, and overall character. The standards and guidelines that follow have been developed to inspire creativity of design, encourage use of color, and require quality materials that blend with the surrounding community as a whole to promote a strong neighborhood that is safe, comfortable, and inviting. Clear and distinct architectural styles are expected. While stylistic adaptations are permissible, each architectural style shall be easily identifiable.

3.2 Architectural Standards and Guidelines

The following standards and guidelines have been developed to ensure that the architecture meets the goals as set forth in Section 1.3, provides a quality comfortable and livable neighborhood, and will be an asset to the City of Manteca. The bullets shown with an empty circle (○) are required standards and those with a filled-in circle (●) are guidelines.

- Required ('shall', 'must')
- Guidelines (recommended) ('should', 'may')

The architectural design of Yosemite Square 2022 shall consist of a modern interpretation of traditional California styles such as Craftsman, Farmhouse/Ranch, and California Classic (to name a few styles) and shall provide variety in form, color, and materials while maintaining a consistency in style and character. Typical stylistic elements shall be included in each home. The elements shall include but are not limited to different materials, window treatments, decorative garage doors, interesting light fixtures, and other details that identify/enhance the specific architectural style chosen. The different architecture styles shall blend seamlessly together to form a cohesive neighborhood.

3.2.1 – Street Presence and Orientation

Building facades constitute all vertical sides of the building: front, sides, and rear together with the roof creates a building’s mass and scale. The mass and scale directly impact the overall streetscape of a neighborhood. To encourage a pedestrian-friendly environment and visually interesting streetscape, the following guidelines shall be incorporated:

- Variable plan types and elevations shall be incorporated along streets to create visual diversity and interesting streetscapes. There shall be a minimum of three plan types for the community and each plan type shall include at least six distinct architectural styles.
- A particular elevation shall not be repeated more than every third home. Only two of the same elevation style, even on different plan types, on side-by-side homes will be allowed. Adding or deleting minimal elevation treatments such as false shutters or similar types of minimal elevation changes will not change this requirement.
- Homes located along the outside edges of the project, along major streets, and around the park shall have enhanced detailing around windows and doors and visible edges; the homes shall have varying roof spans and the colors and materials shall be varied.



- The use and incorporation of porches, trellis, roof overhangs, and patios shall be provided to add interest and a sense of community liveliness to the streetscape.
- Common materials shall be used throughout to provide for repeating forms, colors, and textures to tie the whole community together.
- Provide projections and recesses, appropriate to the architectural style of the home, in building elevations to create shadow and depth.

- Provide combinations of one- and two-story forms to help to break down the overall scale of the building.
- Variation in the setback off of the street is encouraged, but not required.



3.2.2 – Architectural Forms and Overall Character

Homes within Yosemite Square 2022 shall provide for a variety of materials and colors to complement the overall style and character of the community.

The following photos are examples of style and character – they are not intended to be specific direction, but to offer inspiration for design and development. Creativity in form, colors, and materials are encouraged with the goal of creating a warm and inviting community that is cohesive with the existing residential communities and creates a natural progression of the overall design style of south Manteca.



ATTACHMENT 8



The above and preceding pages represent examples of the variety of design styles of homes and is not intended to show exact home designs and materials. Designs shall complement the overall South Manteca style and the existing homes to the south.

3.2.3 – Materials

- Use of high-quality, durable materials shall be provided in the main body of the homes. The following materials fit within the framework of Manteca as a whole.
 - Stucco – Clean and relatively smooth, with not overly articulated and uneven surfaces
 - Brick or Stone (natural or manufactured)
 - Wood Siding (natural, composite, and concrete board)
 - Other high-quality, durable materials may also be used, subject to City approval



- Architectural elements (veneers) must not end at the corner of the building, but shall wrap the corner and extend to a logical terminus that is incorporated into the overall architectural design.
- Windows and doors shall be designed to reflect the overall architectural style of the building.
- Trim elements around windows and on the buildings shall be designed to be proportional to the element they are enhancing.
- Style details include, but are not limited to: corbels, rafter tails, pipe vents, and planter boxes. Style details shall be complementary to the architectural style and the homes, placed in installed appropriately to enhance the overall building design, and shall be made of high-quality and durable materials.
- Window shutters, when used, should be proportional to the shape and size of the window opening.

3.2.4 – Elevations and Projections



The above is an example showing a variety of color and form and not project-specific homes

- All elevations shall be made interesting by the use of articulated facades, varied roof lines, window placement and shape, and a variety of exterior finishes, detailing, and colors.
- All elevations shall be enhanced similar to the front elevation. Window treatment, roof lines, materials, and colors shall be consistent on all elevations.
- Mechanical equipment such as air conditions, heaters, etc., shall not be placed in locations that are visible from the street.
- Roof-mounted equipment is discouraged, but if used, shall be placed in areas that are not visible from public streets.
- The pitch, style, and materials of the roof is to be consistent with the architectural style of the home.



- Roof lines may use gables, hips, dormers, and varied roof planes to create visual interest and diversity of form.
- The form, trim, and placement of the windows should follow the architectural character of the elevation style.

- While diversity is encouraged, materials should be limited to no more than three on any single elevation and the materials and colors are to be carried through and consistent on all elevations.

3.2.5 – Garages and Driveways

Garages provide a sheltered space for vehicles and when thoughtfully placed and designed in the home, will de-emphasize the vehicle, and can add to the articulation of the overall building form.

- Garages and garage doors shall be designed to minimize the visual impact of the garage doors on the streetscape. This shall be accomplished by variations in setbacks of the garages off the street and potential side-entry applications.
- Garages shall not exceed the width of a two-car garage door. 3-car garages with all bays fronting the street are allowed on lots 55' of wider.
- Garage door designs shall vary along the streetscape, with no more than two homes using the same design, pattern, and color next to each other,
- Deep garage door recesses into surrounding wall plans, and/or with 2nd floor above cantilever are encouraged to help de-emphasize the garage door.
- Garage door window lites are allowed and should be appropriate to the architectural style of the home.



3.2.6 – Colors

The materials and colors of a building have a direct impact on the streetscape ambience and overall neighborhood. The following guidelines are to be referenced with the materials allowed in each architectural style selection

- Color palettes for the community shall avoid monotony and provide a variety of schemes that will promote visual diversity while being within an overall community-wide harmonious range.
- Material and colors shall be of high-quality and durable that will weather well and reflects the home’s architectural style.
- The color palette for homes shall be comprised of two or more complementary options that include a base color, trim color, and accent color. Not more than four different colors may be used on an elevation. Adjacent houses and facing facades across the street must use different color schemes for street-scene variation.
- Material and color blocking shall not terminate at outside corners and shall wrap to appropriate transition points of the building façade.
- Window frames shall be appropriately colored to match or complement the house or trim colors for each color scheme.
- Material and colors at the base of buildings should continue to where the building meets grade, so the building is well seated into the street; avoiding a ‘floating’ look.
- Within neighborhoods, color schemes should appropriately reflect the style of a home. Variation in the colors of homes (within a palette range) on a block is encouraged.
- Gloss paints are discouraged on the body of the house.



Section 4 - CIRCULATION

4.1 Overview

The circulation framework for Yosemite Square 2022 consists of an existing arterial road and the provision of collector streets, neighborhood streets, bikeways and pedestrian paths. The primary goal of the Yosemite Square 2022 circulation plan is to provide safe and efficient movement of vehicles, cyclist and pedestrians within the Plan Area while also facilitating safe and efficient connections to the existing street and freeway network in the City of Manteca.

Improvements within the Plan Area include the provision of new rights-of-way as well as improvements to existing street sections. The proposed circulation system will provide convenient and safe access to all locations within the Plan Area. All streets within the Plan Area are designed with sidewalks on both sides of the street. A well-integrated street and sidewalk system and generous street landscaping along the collector streets with a multi-use path on the collectors promotes pedestrian and bicycle use throughout the Plan Area – See Figure 4.4 – Non-Vehicular Circulation Plan.

Austin Road, an existing right-of-way, is classified as an arterial road in the City of Manteca’s Transportation Plan and the portion of Austin Road that borders the Plan Area will be improved as part of this Plan. New rights-of-way within the Plan Area are proposed that comply with the City standards for collector and local residential streets.

Circulation Guidelines

- a. All roadway development standards and dimensions within the Yosemite Square 2022 Master Plan Area should be consistent with cross-sections shown upon the Tentative Map
- b. The street layout within the Yosemite Square 2022 Master Plan Area should be generally consistent with the Vehicular Circulation exhibit (Figure 4.1).
- c. All streets within the Plan Area should be lined with street trees.
- d. Local streets within residential areas to be specified with specific future development for these lots.



4.2 Existing Right-of-Way (Austin Road)

Austin Road is the only existing right-of-way that borders the Plan Area and provides direct access. Austin Road defines the eastern boundary of the Plan Area with nearly 2,000 linear feet of frontage. Austin Road is a north-south right-of-way and classified as a major arterial in the City of Manteca Transportation Master Plan with bike lane.

The portion of Austin Road that borders the project will be widened as shown upon the Tentative Map with two (2) southbound lanes, curb, gutter, sidewalk and a masonry sound wall (Figure 4.2.1). The existing home area will be improved with two (2) southbound lanes and provisions for widening to the same standards as the project frontage upon their development (Figure 4.2.2). There is also a portion of Austin Road adjacent to the northern N.A.P. parcel that will maintain a 71' wide right-of-way until it is developed in the future. The 71' right-of-way is not depicted in the following street cross-sections.

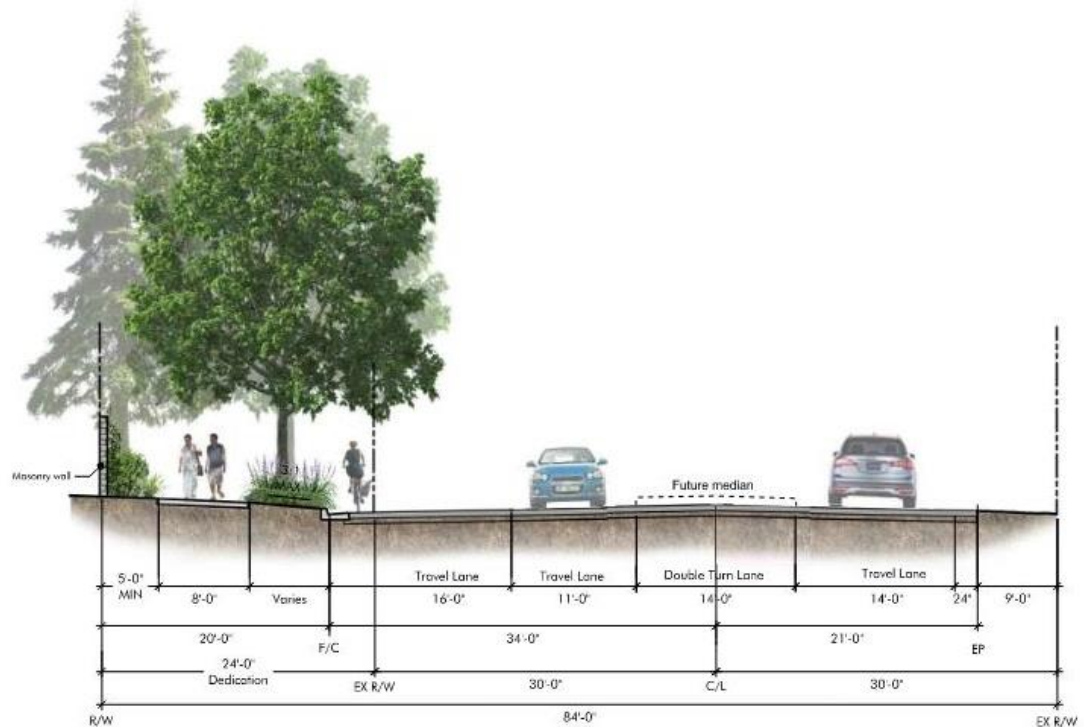


Figure 4.2.1 – 84' Austin Road – Adjacent to Proposed Development

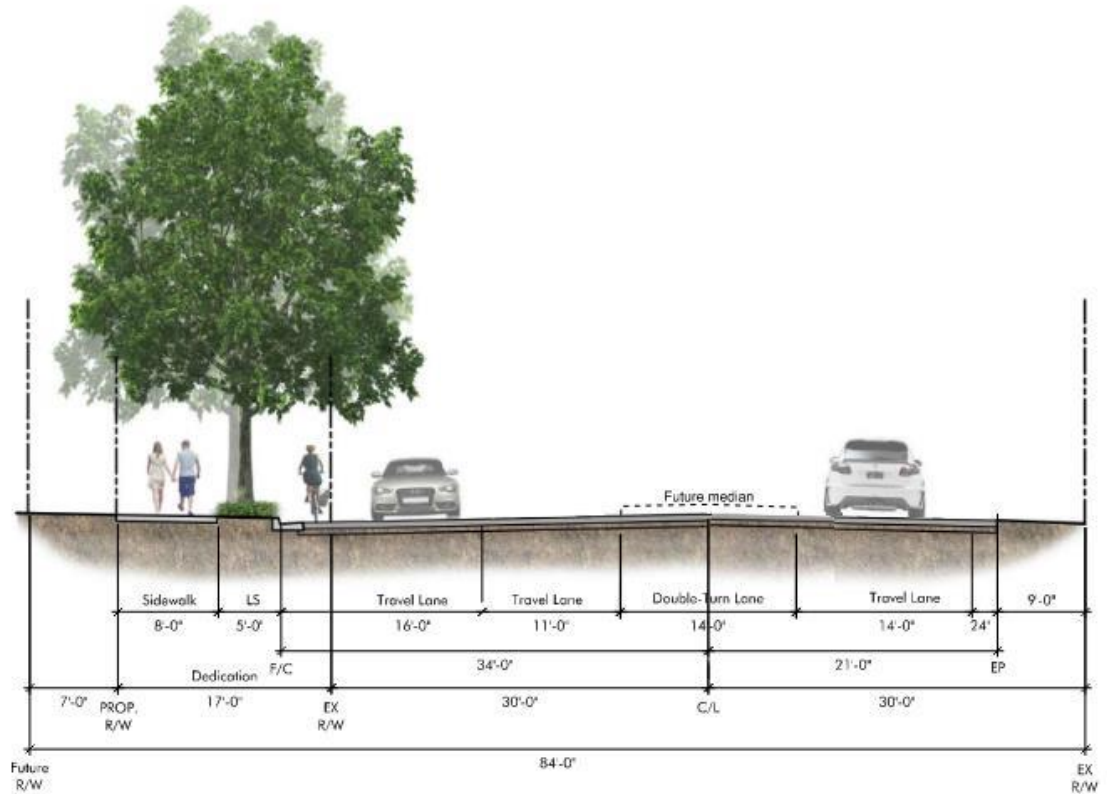


Figure 4.2.2 – 84' Austin Road – Adjacent to Existing Lot (NAP) —————

4.3 Proposed Rights-of-Way

The proposed circulation framework within the Plan Area is planned to provide safe and efficient circulation for automobile, pedestrian, and bicycle traffic. The rights-of-way also serve to define the streetscape, which when combined with landscape corridors, parkways and design elements such as walls, fences and entry features, help to establish the urban form and character. The Yosemite Square 2022 Master Plan proposed rights-of-way conform to City Standards wherever possible, and where they vary from current standards, they apply design criteria to provide additional landscaping and separated Class I bike/pedestrian path. A summary is as follows:

65' ROW Collector Street with Landscape Buffer

Main collectors through the plan area with travel lanes in each direction, landscape median, storm water treatment swales, and sidewalks on both sides of the street. There is an six foot (6') wide path on one side with landscaping. Streets trees and a combination of shrub and groundcover landscape per Parks Division requirements for City-maintained streetscape.



Figure 4.3.1 – 65' Collector Street with Landscape Buffer

68' ROW Neighborhood Entries

These neighborhood connections between the collector and residential neighborhoods consist of a 68' wide right-of-way with two 16' wide travel lanes (each one way) and a 8' wide landscaped median in the middle. 5' wide sidewalks on both sides of the street are separated from the curb. The widened street allows for a pleasant vehicular and pedestrian entry into the neighborhood and allows sufficient space for full landscaping with large shade trees and ornamental landscape treatment. The walls at the corner of the intersection of the Neighborhood Entry and collector may include individual neighborhood signage and the landscape shall be designed to create a transition from the community-wide landscape treatment to reflect the individual character of the neighborhood.



Figure 4.3.2 – 68' Entry Street

60' ROW Minor Collectors

Minor collectors include travel lanes in each direction, storm water treatment swales, and sidewalks on both sides of the street. There is an six foot (6') wide path on one side with landscaping. Streets trees and a combination of shrub and groundcover landscape per Parks Division requirements for City-maintained streetscape.

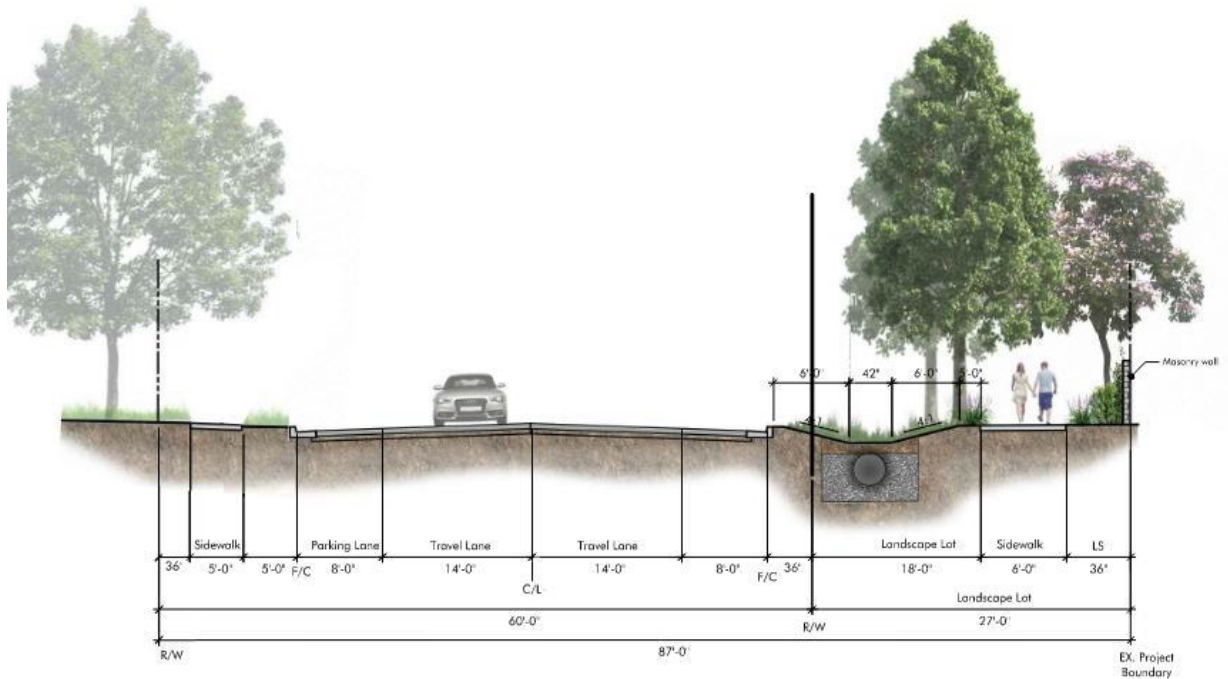


Figure 4.3.3 – 60' ROW Street with Landscape Buffer – Front yard landscape on one side

Highway 99 Frontage Street

The street that runs parallel to the Highway 99 frontage is a standard residential street, but there is only parking on the residential side of the street. The side that fronts the Hwy. 99 adjacency does not have parking to allow more room for a separated sidewalk, dense landscape, and a berm to raise the wall and the landscape and create the required wall height by using a combination of wall and earth berm.

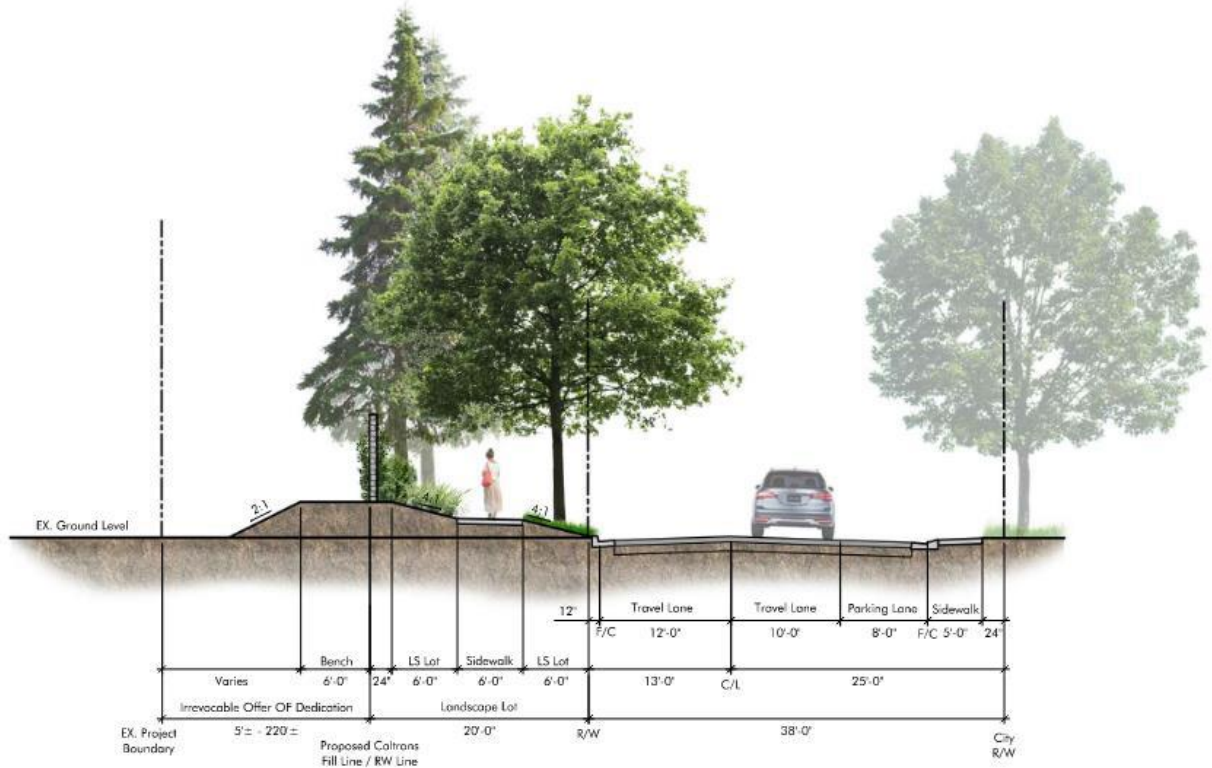


Figure 4.3.4 – Interior Street along Caltrans Right of Way

50' Interior (Residential) Streets

Residential streets with travel lanes, parking, and sidewalks. Driveways front on these streets.

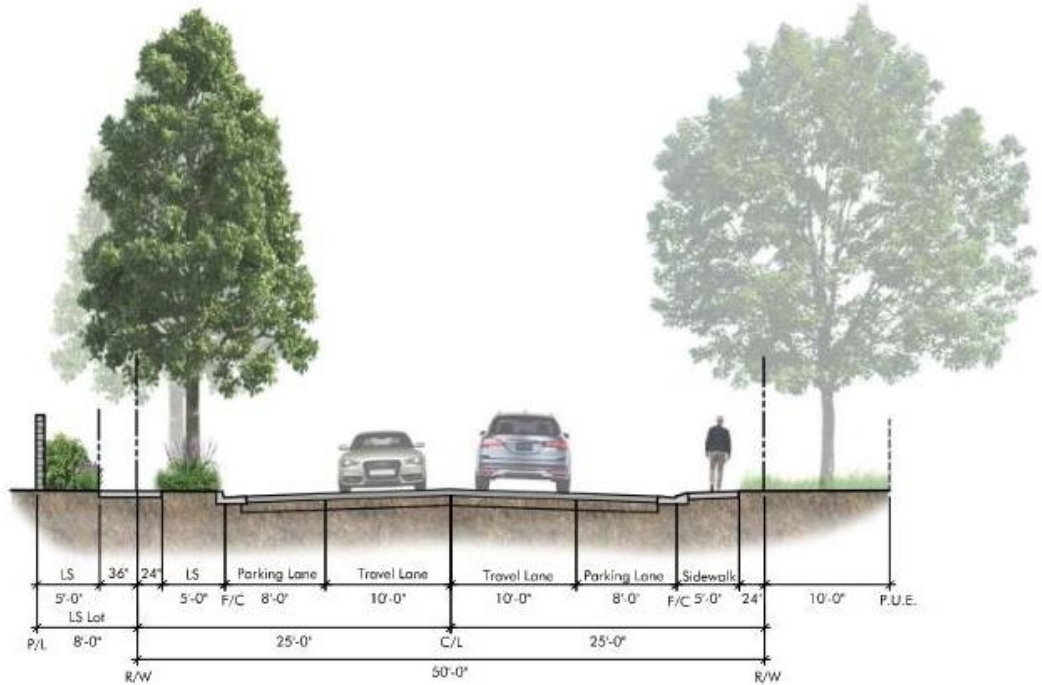


Figure 4.3.5– 50' Alternate Interior Street

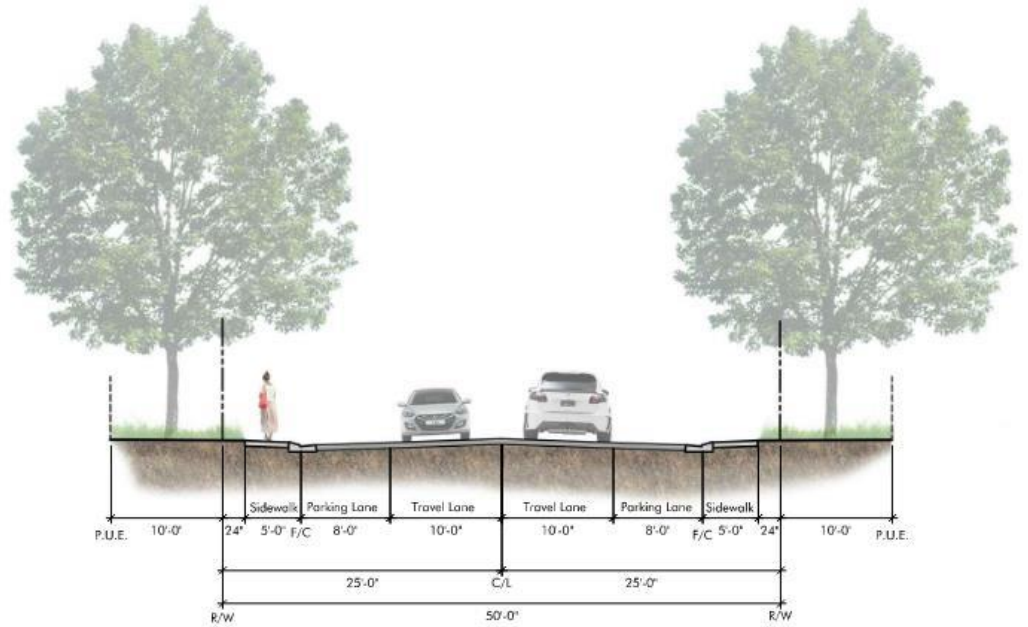


Figure 4.3.6– 50' Typical Interior Street

52' Park-Fronting Streets

Residential streets with travel lanes, parking, and sidewalks. Driveways front on one side of these streets. The other side is the park. Location of sidewalk per the final park design. May be monolithic with the curb, or may be meandering and separated from the curb. If there is a sidewalk at the back of curb, the sidewalk shall slope into the park and not toward the gutter per Parks Division requirements.



Figure 4.3.7 – 52' Park Fronting Street █

4.4 Non-Vehicular Circulation

A comprehensive system of multi-use paths, bikeways, and sidewalks is proposed for the Plan Area to allow for safe and convenient access between land uses. The goal is to encourage pedestrian activities and bicycling. A combination of multi-purpose paths and sidewalks are provided in the Plan Area.



Figure 4.4 – Non-Vehicular Circulation Plan

4.5 Public Transit

Existing public transit bus stops can be provided. The Plan will support the use of these facilities by providing for an enhanced, protected bus stop facility with identifying signage. Future public transit stops will be predicated on the City of Manteca and their desire to increase the level of service. Bus turn-outs will be designed and provided as requested by the City consistent with Public Works Standard ST-38.

Section 5 - **COMMUNITY**

5.1 Overview

Streetscape, perimeter fencing, sidewalks, street lights, and site furnishings are all proposed to enhance the aesthetic of Yosemite Square 2022 and to create a sense of place and a livable, distinctive, and comfortable community. All of these items are proposed to create a cohesive palette that provides for a comfortable community while fitting into the existing pattern of Manteca and complementing the overall residential communities of Manteca.



Figure 5.1 – Community Plan

The Yosemite Square 2022 Master Plan recognizes that landscape components including parks, parkways, open space elements, coordinated street tree network, and entry features are an integral factor in establishing identifiable neighborhoods. The Plan provides for thoughtful and meaningful placement of landscape features and design to not only differentiate the Yosemite Square 2022 Plan Area but to more importantly establish an inviting community. This Landscape Concept describes a character that will unify Yosemite Square 2022.

The key landscape feature areas shall be tied together with landscape corridors that represent the water-efficient landscape policies and water usage as required by the City of Manteca Parks Division while still reinforcing the overall theme of the development.

Landscape Design Guidelines

- a. Provide landscaping that reflects the character of the Plan Area and is hardy and adaptable to the specific climate conditions of the site.
- b. Select plant material that at its mature size is appropriate for the size of the planting area. Avoid plants that will require extensive pruning or selective removal in order to be maintained within their space.
- c. Select plant species that do not require formal shearing and will grow together to create informal plant masses.
- d. Ensure that adequate and appropriate landscaping is provided within the development and future site plan applications.
- e. Ensure shade trees are planted in adequate densities throughout the Plan Area to help reduce heat gain and provide a pleasant environment for citizens.
- f. Provide landscaping that functions as an aesthetic treatment throughout the Plan Area and is also incorporated whenever possible into functional processes of site development such as run-off detention, storm filtering, heat gain mitigation, etc.
- g. Provide for layering of plant heights and diversity of plant groupings throughout the Plan Area. This will avoid monoculture and allow for a more healthy growing environment for under-story plants.
- h. Limit medium water-using plants to high focal point areas only. A majority of the landscape areas shall be limited to low water-using plant species.
- i. Lawn shall be limited to functional recreation areas such as the basin park only.
- j. Root barriers shall be used as needed to avoid conflict with sidewalks and curbs.
- k. Use of non-irrigated groundcover such as cobble, decomposed granite, synthetic lawn, etc. is a required elements of the City Parks Division – approx. 15%-25% of landscape areas to be non-living, non-irrigated.

5.2 Streetscapes

For purposes of these Design Guidelines, “streetscape” is defined as the publicly maintained landscape within the rights-of-way. Landscape is an important aspect of the streetscape, as it is used to create an aesthetic environment, provide shade, reduce and/or delay storm-water run-off, protect pedestrians, and set the style and character of Yosemite Square 2022. Streetscape landscape shall include:

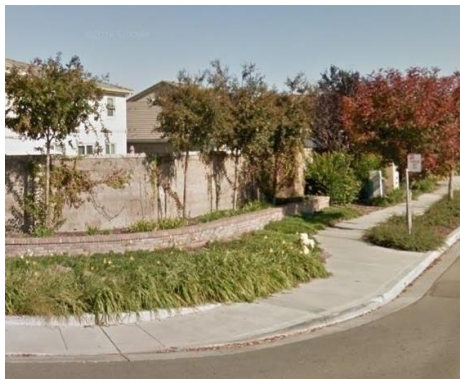
- Street trees
- Pedestrian paths such as sidewalk and multi-use paths
- Low water using shrubs and groundcover as well as non-irrigated groundcover such as decomposed granite, cobble, boulders, and other similar materials.
- Streetscapes shall be designed in accordance with City of Manteca Parks Division requirements.
- Plantings shall be low to allow for surveillance and safety of pedestrians. Taller plants may be placed adjacent to fences and walls. Lawn is not allowed.
- Irrigation shall be efficient point-source bubblers, rotators, or other equipment as allowed by the Parks Division. Irrigation shall be designed for possible connection to a City-wide reclaimed water system where appropriate and if required by the City.



5.3 Community Gateways / Entries

At the overall community entry streets, the landscape shall be designed as an upgraded landscape to accentuate the community entries. The landscape within the community gateways shall include:

- Enhanced wall elements such as diagonal wall sections with upgraded materials of stone, brick, tile, or stucco. These elements may also include pilasters, low walls, lighting, and other enhanced features.
- Community signage
- Flowering trees and other enhanced landscape to accentuate the wall and fence entry design.
- Landscape at the corners and median shall be low to allow for clear views of vehicular traffic as well as pedestrians and bicyclists.
- Sidewalks and multi-use paths shall be placed at the back of curb along the curb return corners to allow for ease of crosswalks and clear visibility.



Above are example of similar Community signage/entry features – Not specific designs for Yosemite Square 2022

5.4 Neighborhood Entries

Within the overall Yosemite Square 2022 community there may be neighborhoods that have their own name or sense of identity. The materials and overall appearance of these smaller neighborhood signs or entry elements are to complement and be harmonious with the larger-scale Yosemite Square 2022 community walls and entry elements. The treatment of the neighborhood entries shall include:

- Smaller entry signs than the overall Community signage, but uses similar/complementary materials and colors.
- Neighborhood signage in medians or diagonal wall sections.
- Landscape at the corners and median shall be low to allow for clear views of vehicular traffic as well as pedestrians and bicyclists.
- Landscape shall be formal in nature.



Above are example of similar Neighborhood signage/entry features – Not specific designs for Yosemite Square 2022

5.5 Neighborhood Basin Park

The neighborhood park is centrally located to serve all of Yosemite Square 2022 and adjacent residents. This park serves as a dual-use park and storm water basin. The play area shall be located at street level (not in the basin bottom) at the northeast corner of the park for safe and easy access to the play and picnic area from the surrounding residential areas. All Yosemite Square 2022 residential neighborhoods have easy access sidewalk connections to the park. The park shall include play equipment, park furniture, picnic areas, shade facilities, and sports fields as required by the City of Manteca for neighborhood parks. An area of picnic tables and benches shall also be provided at the southwest corner of the park for business park use (such as having lunch) that shall be separated from the main active play areas. These tables and benches shall be distributed in the area and not grouped all in one location.

Landscape Design Guidelines

- a. The park shall be developed per the requirements of the City of Manteca Parks and Public Works Departments for neighborhood / storm basin park.
- b. Sidewalks shall be provided for ease of access, recreation purposes, and ADA access to all up-land play area amenities.
- c. Large spreading shade trees shall be provided throughout the park, but especially at play areas, benches, and tables.
- d. Turf shall be used throughout most of the park. When shrubs and groundcover are used, they shall be low to allow for clear views through the park.
- e. Security light(s) shall be provided at the main recreation play area (in addition to surrounding street lights).
- f. Park irrigation shall be from a well and irrigation booster pump per City of Manteca standards.
- g. Evergreen screen trees shall be planted along the east edge of the park to screen the adjacent land use.
- h. Park infrastructural utilities, such as irrigation pump, storm drain pump, sewer pump, etc., shall be grouped together and appropriately screened from view in an area that is convenient for maintenance access, yet away from active play areas and high visibility areas.

5.6 Community Open Space and Pedestrian Circulation

The project shall incorporate walking trails as part of the streetscape and park design to provide for looped walkways for community use. Where space is available amenities such as benches, exercise stations, picnic seating, mile markers, and other loop-trail amenities shall be incorporated to meet the concepts of Figure 5.6.



Figure 5.6 – Loop Trail and Amenities

5.7 Walls and Fences

Walls and fences are intended to provide screening and buffering between different land uses, to define the edges of roadways and public landscape, to provide privacy and security for private homes, and to comply with the acoustical report. Masonry sound and safety walls are provided along the edges of the primary roadways and between homes. The street frontage masonry walls also provide for the entry features and potential signage that are described in preceding Section 5.2. Wood fencing is provided along the main entry drives within the project as well as side yards that front streets. There is also lot line fencing between homes.



Figure 5.7 – Wall and Fence Plan

5.7.1 - Masonry Wall (Streetscape)

The sound wall shall be a vine covered split-face CMU (concrete masonry unit) wall with a precast 'regal' cap. The split-face portion of the wall will be planted with clinging vines. There are to be pilasters at approximately 300' on center. Height of wall along major roadways per the acoustic report; otherwise wall height is 6'-0".

5.7.2 - Wood Fence (side yard fence)

The fences in visible locations at side-lots are proposed to be upgraded fencing with accent top. This fencing is to blend with landscape, provide privacy for the homes.

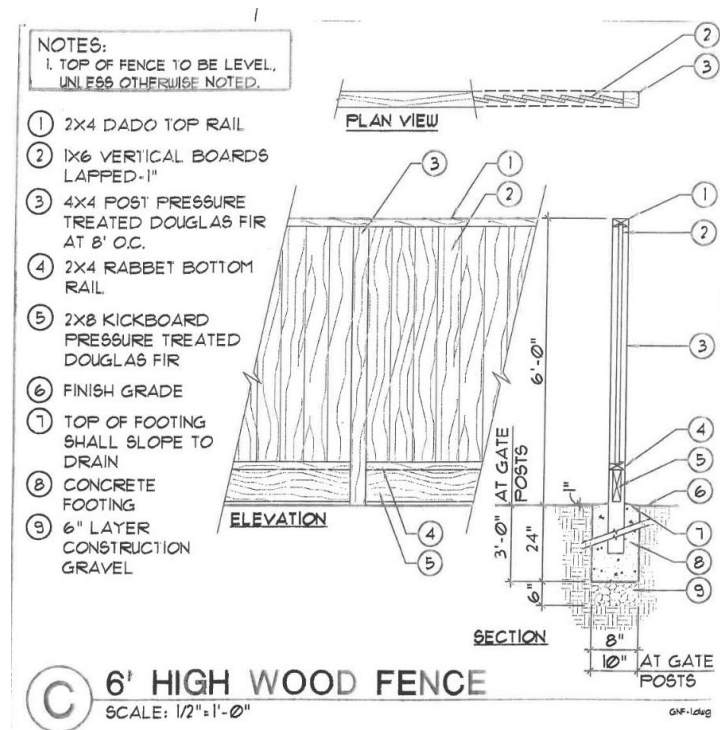


Figure 5.7.2 – Example of Wood Fence

5.7.3 – Lot Line Fences

Fencing between homes is to be provided to create private back yards and is to be installed per standard City requirements and per typical lot line fence practices of the developer. Gates that match the fences shall be provided along the garage side of the home. All fences visible from the public way shall be installed with fence boards facing the street so that the fence posts and rails are not visible from the public way.

5.8 Street Lights and Street Signs

Yosemite Square 2022 street lights shall be provided throughout the street network as needed to meet foot-candle requirements of the City. Locations shall be reviewed and approved by the City. Special consideration is to be paid to locate lights near intersections, cluster mailbox locations, and along pedestrian paths.

Street signs and regulatory signs shall be located as needed to provide for the safety of all users and aid in traveling through Yosemite Square 2022. Street signs to be located at intersections per City standards. Regulatory signs to be kept to a minimum and only as required by the City. Locations shall not obstruct views, interfere with community elements, or compete with street tree locations.

5.9 Cluster Mailboxes

Cluster mailboxes shall be provided throughout the community and shall meet the requirements of the United States Postal Service (USPS) and shall be approved by the local post-master. Mailboxes to be located near street lights and in locations that do not compete with driveways or are too close to street intersections (for parking). Side lot locations are preferred. Cluster mailboxes to match those installed with the community to the south.



5.10 Landscape and Irrigation

Planting will create the consistent fabric that ties the community together. A cohesive palette of trees, vines, shrubs, and groundcover shall be provided in public open space and streetscape locations. Street trees shall be provided on home lot to maximize quantity of trees to create a shady overhead canopy of residential streets. Corner lots shall require two additional trees along the side yard street frontage. Trees need to be planted adequately clear of utilities and shall not impede visual safety at street intersections, but should otherwise be maximized to the greatest extent possible.

Shrubs, vines, and groundcover shall be provided throughout the community to enhance project entries, provide cover for walls (anti-graffiti), enhance safety of pedestrians at separated sidewalks, and aid in the buffering of fencing for the privacy of homes. Plantings shall not interfere with the safety of drivers and shall not create hiding places or create other safety concerns.

Irrigation and planting design shall be provided to meet the requirements of the City of Manteca and shall meet the requirements of the Water Efficient Landscape Ordinance (WELo). Plants shall be predominately low water-use, be correctly sized and spaced for the use (to require minimal regular pruning to keep its size where desired), and shall be hardy to the climate. Irrigation shall be highly efficient, and shall be of durable quality that meets City standards and details. Irrigation controller(s) shall be multi-programmable and shall use a soil moisture sensor or weather sensor.

Section 6 - **ADMINISTRATION AND IMPLEMENTATION**

6.1 Implementation of the Plan

The Yosemite Square 2022 Master Plan is the mechanism to ensure that all future development within the Plan Area is consistent with the City of Manteca General Plan. The Master Plan will serve as a tool for the City of Manteca to implement the Zoning of the Plan Area. Every effort has been made with the Yosemite Square 2022 Master Plan to provide policies and regulations when issues that were not anticipated arise. The Development Services Director (“Director”) is responsible for interpretation of the Master Plan.

If any situation arises in the implementation of the Master Plan that is not addressed by specific development regulations or guidelines or if an issue, condition, or situation arises that is not clearly addressed in the Master Plan, the Director shall provide an interpretation based on such City codes, goals, policies, plans and requirements as are most closely related to the subject matter of the issue or situation to be interpreted.

In some cases, the Master Plan standards may conflict with or be more restrictive than the City’s Zoning Ordinance. In these circumstances, the Yosemite Square 2022 Master Plan standards and guidelines shall prevail. For any matters not specifically addressed by the Master Plan, the Manteca Municipal Code shall apply and shall be interpreted in a manner that is consistent with the goals and objectives of the Yosemite Square Master Plan.

Subsequent to adoption of the Master Plan, individual project applications will be reviewed to determine consistency with the Master Plan and other City of Manteca regulatory documents. All future applications including but not limited to Minor Site Plan and Design Review, Tentative Subdivision Maps, and Use Permits (“Development Applications”) within the Plan Area will be subject to the requirements of the Master Plan. To achieve the high-quality development envisioned by the Master Plan, all development within the Plan Area will be subject to the procedure for Minor Site Plan and Design Review of 17.10.060 of the Manteca Municipal Code.

Development Applications will be submitted to the City of Manteca Planning Department and subject to the Fee Schedule adopted by City Council. The Planning Department will conduct an initial review of the application for completeness and consistency with the adopted Master Plan, as well as other ordinances and standards. To streamline the implementation of the Master Plan, approval by the Community Development Director is encouraged for any application that does not explicitly require Planning Commission consideration by the Manteca Municipal Code, and that is

determined consistent with the Master Plan and other regulatory documents.

The Community Development Director, acting upon any Development Application that is determined to be complete may (1) approve the application, (2) approve the application with conditions or modifications, (3) deny the application, or (4) refer the application to the Planning Commission. The Community Development Director's determination shall be considered a final discretionary determination unless appealed to the City Council.

The Community Development Director's (or if on referral or appeal the Planning Commission's) determination for approval shall require a finding that the Development Application is consistent with the Master Plan, including but not limited to, the land use plan, circulation plan, site design standards, and design guidelines.

If the applicant or the City believes that an Amendment to the Master Plan is warranted, an Amendment to the Master Plan may be requested in accordance with section 6.3, Amendments. The request must provide adequate justification.

6.2 Adoption of the Master Plan

Adoption of the Master Plan establishes the zoning district for the site and establishes the development standards and design guidelines for the Plan Area. Approval of the General Plan Amendment Resolution and adoption of the Master Plan Ordinance by City Council insures that the Master Plan is consistent with the proposed land use designation of LDR and MDR and is consistent with the General Plan's overall goals and policies. The Yosemite Square 2022 Tentative Map will be adopted by resolution of the Manteca City Council.

This Master Plan establishes specific development standards, which may differ from those contained in the City of Manteca Zoning Code. The standards of the Master Plan shall supersede those established by the Zoning Ordinance and apply to the development of property within the Plan Area.

The development standards and design guidelines of the Master Plan are intended for implementation in conjunction with the Manteca Zoning Code. Where not otherwise specified by the Master Plan, the development of property shall be governed by applicable zoning standards in the City of Manteca Zoning Ordinance.

6.3 Amendments and Waivers

Situations may arise where future amendments to the adopted Master Plan can be considered because of changing circumstances. Additionally, because of unforeseen circumstances, some development standards or design guidelines may not be feasible on a particular parcel. In these situations, the procedures listed below will be followed to amend or waive the adopted Master Plan standards.

6.3.1 Scope of Amendments

Amendments to the adopted Master Plan should be categorized as either minor or major. This determination is to be made by the Community Development Director or his/her designee. Minor modifications or exceptions can be reviewed and acted upon as minor modifications by the Development Services Director. Those amendments considered major will be processed as set forth below in 6.2.3. Amendments to the Master Plan can include, but are not limited to changing land use designations, circulation plan, design criteria, landscape criteria, development standards or policies. The Director or his-her designee shall administratively make a written determination as to whether or not a requested modification is major or minor.

6.3.2 Minor Modification

A modification shall be considered a minor modification when it is determined that it does not have a significant impact on the character of the plan or on the environment. If the Director determines that a requested amendment is minor, the Director shall either (1) approve the application, (2) approve the application with conditions or modifications or (3) deny the application. The Director's decision may be appealed to the Planning Commission following the procedures of the City of Manteca Municipal Code.

The following are examples of what could be considered minor modifications:

- Changes in the configuration of Master Plan land use which does not alter the relationship to other land uses or compromise the concept and principles of the Master Plan.
- Minor changes to land-uses which result in changes in unit counts, minor acreage change of land uses, or other changes altering land uses, which do not significantly affect the key planning concepts set forth in the Master Plan.

- Changes to the collector street system and alignments that do not substantially alter the intended land use or circulation framework set forth in the Master Plan.
- The relocation or reconfiguration of park or open space that is not less in acreage than the specified minimums, and does not compromise the park and open space concept set forth in the Master Plan
- Changes to design guidelines and/or development standards that do not substantially change the physical character of Yosemite Square 2022 as envisioned in the Master Plan.
- Modifications to informational material contained in the Yosemite Square 2022 Master Plan that does not have regulatory effect.
- Any change to the Plan that would not significantly increase environmental impacts.

Application Requirements for Minor Modifications:

Applications for minor modifications shall be submitted to the Planning Department. The materials and documents necessary to process a major modification application should be consistent with those outlined in the City of Manteca Checklist for Amendments. A detailed justification statement shall be submitted which explains in detail why a minor modification to the Master Plan is warranted. Applications for minor modifications are subject to processing fees adopted by City Council.

6.3.3 Major Amendments

The following are examples of what could be considered major amendments:

- Introduction of a new type of land use not specifically discussed in the Master Plan which necessitates a General Plan Amendment and Rezone.
- Significant changes to the collector street system that would substantially alter the land use or circulation concepts set forth in the Master Plan.
- Changes to design guidelines and/or development standards which, if adopted would substantially change the physical character of Yosemite Square 2022 as envisioned in the Master Plan.
- Any change to the Plan that could significantly increase environmental impacts.

Application Requirements for Major Amendments:

All Master Plan amendments shall be consistent with the City's General Plan. Major amendments may therefore require an accompanying General

Plan Amendment. In addition, as the Master Plan implements the zoning of the Plan Area, major amendments may also require an accompanying Master Plan Rezone application. The materials and documents necessary to process a major amendment application should be consistent with those outlined in the City of Manteca Checklist for Amendments. A detailed justification statement shall be submitted which explains in detail why an amendment to the Master Plan is warranted. Applications for major amendments are subject to processing fees adopted by City Council.

6.4 Master Plan Phasing

Development of Yosemite Square 2022 will depend on market conditions and demand. The Master Plan allows for development to occur in phases to respond to the market conditions and demand; therefore, a specific phasing plan for development is not provided.

6.5 Master Plan Compliance and Enforcement

The Development Services Director is responsible for enforcing the provisions of the Manteca Municipal Code Title 17 and the Master Plan. The regulatory elements of the Master Plan are enforceable pursuant to the enforcement requirements of the Manteca Municipal Code.